

Date	Name	Notes	Category
3/12/2024	Bean	Not supportive of any survey/regulation	Use of Survey No Required Review
2/27/2024	Brown	10th St - Not supportive of any survey/regulation	Use of Survey No Required Review
2/8/2024	Dudley	4th - interested in learning about history	General Questions
2/13/2024	Fetter	10th St - Info on age and demolition	Property Specific
2/19/2024	Gary	E Ave - Info on age and alterations, no known modifications	Property Specific
2/10/2024	Korrey	1st St - Not supportive of any survey/regulation	Use of Survey No Required Review
2/9/2024	Koshland	A Ave - info on modifications, suggests tier 2 Supportive of document	Property Specific Use of Survey
2/7/2024	Lillegraven	Pomona - should be tier 3	Property Specific
3/15/2024	Lindstrom	Exclude Tier 3, also not supportive of required review.	Use of Survey No Required Review Exclude Tier 3
2/15/2024	Luttrell	F Ave - Incorrect built date	Property Specific
3/3/2024	Parish	Flora Ave - should be tier 3	Property Specific
4/11/2024	Parish	Flora Ave - Should be designated	Property Specific
5/7/2024	Pate	Balboa Ave - Not significantly modified	Property Specific
3/4/2024	Poole	Margarita Ave - info on alterations, should not be tier 1	Property Specific
2/7/2024	Renly	I Ave - general questions about property and survey	General Questions
2/24/2024	Vizzier	H Ave - Info on age and alterations, major remodel	Property Specific
2/10/2024	Wolfe	Cabrillo - questions about age threshold	General Questions

**From:** [Marie Bean](#)  
**To:** [Tricia Olsen](#)  
**Subject:** Homes deemed possibly historical  
**Date:** Tuesday, March 12, 2024 1:24:00 PM

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What right does anyone; or City in this great country of ours have a right to deem someone's personal; private property historical without their consent?

This is appalling and outrageous.

Remember the words PRIVATE; PERSONAL property.

Where are our homeowners rights? Is it legally on the books, and if so show me the recorded paper work?

Anxiously awaiting your very legal reply.

Marie Bean  


Sent from my iPad

From: [Deborah Brown](#)  
To: [Tricia Olsen](#)  
Subject: Historic Survey and Tier of Property Review  
Date: Tuesday, February 27, 2024 2:32:15 PM

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YES, I have concerns regarding the February 5, 2024 notification regarding my property [REDACTED] 10<sup>th</sup> Street, Coronado, CA.

Why was I not personally notified that a review and scrutinization of my personal home and personal property was under review by the City of Coronado? I was notified AFTER the fact and told that my property falls in a Tier level. I had no idea this was going to take place and have never heard of a survey to classify homes.

The age of my home and whether my personal property is historic or not historic is significantly personal to me, the owner. If I wanted to pursue historical significance to the property, I would have contacted the city and initiated this request. My concerns regarding the City of Coronado's "form" letter is that there are developers and builders who are searching for homes that are not declared "historic" so that they can be subjected to demolition and major alterations. This is evident throughout the city with major developments currently underway.

I repeat, the historic significance of my personal home and personal property is a private matter that should have been requested prior to an evaluation and then followed up by the individuals asking for this information as to whether I, as the owner of the property, wanted to participate or not participate. The City of Coronado should have obtained my consent prior to this ever taking place!

Deborah Brown

**From:** [kim.dudley](#)  
**To:** [Tricia Olsen](#)  
**Subject:** Historic property  
**Date:** Thursday, February 8, 2024 3:49:48 PM

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Hello Trisha,

I received a letter regarding the historic tear status of my property today, and am wondering if you have any further information about the history of this property or how I could find out more?

If so, I would appreciate anything that you have. I am interested in learning more about the history.

Best regards

Kim Dudley



*T. Fetter & Co., Inc.*

[REDACTED] FIFTH AVENUE, SUITE 629  
SAN DIEGO, CALIFORNIA 92103

FACSIMILE ([REDACTED])

February 13, 2024

Mr. Richard Grunow  
Director of Community Development,  
Redevelopment Services and Housing  
City of Coronado  
1825 Strand Way  
Coronado, CA 92118

Re: [REDACTED] Tenth Street; Letter dated 2/5/24 2024 Concerning Historically Significant Properties

Dear Richard,

Subject letter, and apparently the City of Coronado's records, indicate that our building was built in 1951. I believe that there was a former structure on the property that was replaced with the current building in 1978. Our construction plans are dated December 30, 1976, thus in addition to lacking the required architectural style, our building is not yet 75 years old.

Please let me know if the City building permit records reflect a different date.

Thank you.

[REDACTED]  
Tom Fetter

Enclosure: City of Coronado Community Development Letter

**From:** [Bret Gary](#)  
**To:** [Tricia Olsen](#)  
**Subject:** [REDACTED] E Ave Tier Comments on possible Historical Significance  
**Date:** Monday, February 19, 2024 2:42:03 PM

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Tricia,

I'm writing as a result of a letter I received on 2/5/2024 asking for comments on my property at [REDACTED] E Ave. My home is approximately 114 years old, built around 1910, not 1951 as listed in your letter. The house was one of three built together side by side, with mine being the main two-story home and the other two were small cottages built for and used by the same owner. The cottage next to me remains in its near original condition. My next door neighbor can corroborate the age since he was born there and he is over 80. Also, the original trash incinerator is still in my kitchen, providing additional proof of age. Almost all the counterweighted double hung windows are original, and I keep them in working order. I have been the owner since 2002 and I have worked hard to preserve its original character. I believe my home is representative of summer homes built at the turn of the century. These properties are being torn down in great numbers as Coronado land values skyrocket, and I hope that my house might be valued as a Historical Resource.

While there was an addition to the rear of the house in the 1980s, the original house looks the same from the street. I am looking forward to talking with you at your convenience to understand my options.

Thanks,  
Bret Gary  
[REDACTED]

Sent from my iPhone

**From:** [REDACTED]  
**To:** [Tricia Olsen](#)  
**Subject:** Notice of possible changes to historic designation-Tier 2  
**Date:** Saturday, February 10, 2024 9:18:36 AM

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Dear Ms. Olsen: My property at [REDACTED] 1st Street received notice of our possible inclusion in the proposed Historic Significance Review as a Tier 2. Please be advised if the City institutes these changes for a properties like mine which are not remotely historic, the City will face legal action for an unconstitutional property taking which the US Supreme Court has recognized as an unlawful interference with property rights. Hopefully, the City will not institute this new policy. /s/David M. Korrey [REDACTED] 1st Street, Coronado, CA 92118.

**From:** [Scott Koshland](#)  
**To:** [Tricia Olsen](#)  
**Cc:** [Scott Koshland](#)  
**Subject:** [REDACTED] A Avenue  
**Date:** Friday, February 9, 2024 9:03:57 AM

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Dear Tricia,

Good morning. I am the homeowner of the house at [REDACTED] A Avenue. We recently received a letter for historic review for our house built in 1908 in a tier 1 designation. We are quite supportive of this initiative to preserve Coronado's architectural heritage. I would like to point out that our house has been modified in 1995 adding a second story. We did this with the intent to maintain the "Victorian" architectural character of the house. Perhaps our house should be a tier 2 category?

We have considered applying for Mills act property protection. Will this review have an effect on the Mills act status of the property?

Best regards,  
Scott Koshland  
[REDACTED] A Avenue  
Coronado, CA.  
[REDACTED]

**From:** [Geoff Lillegraven](#)  
**To:** [Tricia Olsen](#)  
**Subject:** Historic preservation list  
**Date:** Wednesday, February 7, 2024 2:47:13 PM

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Hi,

I left a message on Monday and have not heard back from you.

My mother's home was built in the 1930's and I assume should be on the historic preservation tiered property list. The address is [REDACTED] Pomona Avenue. I could not find it anywhere.

My assumption is it should be a tier 3 property.

Could you please advise on how we can get it on the list so I can tell prospective buyers it's status. It is presently listed for sale.

Thanks for your prompt attention to this.

Geoff Lillegraven  
[REDACTED]

Sent from my T-Mobile 5G Device  
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From: [REDACTED]  
To: [Tricia Olsen](#)  
Cc: ["Jerry Lindstrom"](#)  
Subject: Historic Significance Review  
Date: Friday, March 15, 2024 9:51:18 PM

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As the owner of a Tier 3 property, I would like to see all Tier 3 properties exempt from review by the Historic Resources Commission,

Selling a property subject to a finding of historic significance, and the rules associated with such a finding would restrict a buyer's options and lower the selling price. The best use of my property would be to modify or demolish the building. Owners on both sides of my property demolished and replaced the houses with larger buildings. My house would not qualify for historic designation, but I might request a historic designation review to remove any doubt a buyer might have. Such a review would be an unnecessary cost to the city of Coronado.

I further believe that all properties should be exempt from historic designation unless requested by the owner. If the Historic Resource Commission feels that a property is of historic value, they should request that the owner submit the property for review. If the owner is not interested, the city should endeavor to purchase the property.

Ken and Jerry Lindstrom

[REDACTED] Pomona Avenue

[REDACTED]

**From:** [Paul & Kristin](#)  
**To:** [Tricia Olsen](#)  
**Subject:** Historic significance review letter error  
**Date:** Thursday, February 15, 2024 6:22:12 AM

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Ms. Olsen-

We received the Community Development letter from the City of Coronado about historic significance reviews. The City clearly needs to do a better job at keeping their records up to date.

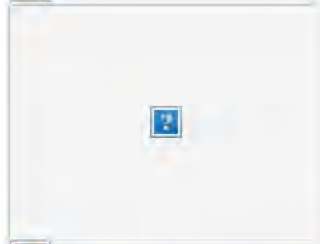
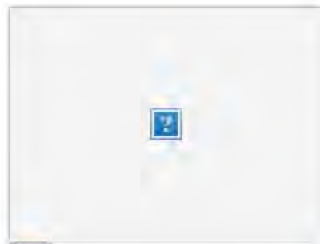
Our house at [REDACTED] F was not built in 1943. [REDACTED] was originally built then, but we purchased one half of the lot and Mark Gould purchased the other half of the lot in 2004. The lot was legally split in half, into two 25 foot wide lots - [REDACTED] and [REDACTED]. The 1943 house was demolished and our two houses were then built. We are in [REDACTED] and Leo Kroonen and his family are now in [REDACTED]

Paul A. Luttrell  
[REDACTED] F Avenue  
Coronado

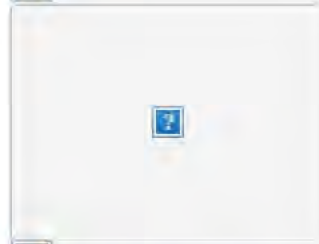
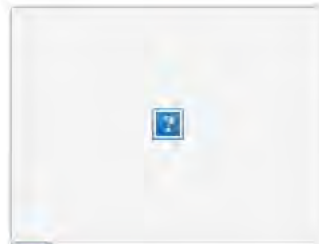
**From:** [Anne Boston Parish](#)  
**To:** [Tricia Olsen](#)  
**Cc:** [REDACTED]  
**Subject:** City Survey: [REDACTED] Flora Ave  
**Date:** Sunday, March 3, 2024 1:34:22 PM

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[thumbnail 2024030...](#)



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**Anne Boston Parish**  
[REDACTED] Loma Ave  
Coronado, California 92118

March 2, 2024

**Reference:** [REDACTED] Flora Avenue, Coronado

To Mayor Bailey, Membership of Coronado City Council and City Manager-

I am in receipt of a letter dated February 5, 2024 from Community Development. This letter is in regard to a city survey to classify historically significant properties greater than 75 years old. This is my second email to the city, and to Ms. Tricia Olsen, September 19, 2023, with no reply as to my previous request. Ms. Olsen advised me that my email would be forward to you, however to date, I have never received any sort of communication from you. I am not a suspicious person, but I suspect you may not have received my email. To be honest, nothing surprises me anymore in regard to city and its decisions, but the over lack of genuine concern for a permeant resident, is my opinion less than best. This letter is my reply to the city for said property: [REDACTED] Flora Avenue. The purpose of this letter is to present facts that support my request that said property be removed from Tier 2 and labeled Tier 3.

The succeeding information will pre-date your positions on Council and the city, so if you are unfamiliar with the facts, I can appreciate this notion, but there are city employee(s) who pre-date you, and for that reason, I am directly sending this reply to you, through Ms. Olsen. I will provide the facts that will include my thoughts, beliefs and ideas.

On June 28, 1981, the Coronado Historical Association dedicated 34 Homes as Coronado Historical Landmarks. On that day, my late parents were honored to have the city dedicate [REDACTED] Flora Ave, the Pickford-Boston House as a Coronado Historical Landmark. Of note, on that day, my primary residence located at [REDACTED] Loma Ave was dedicated as a Coronado Historical Landmark, and in contrast, the city has never disputed this property as a Coronado Historical Landmark. I have attached photos of the 1981 dedication pamphlet,

the certificate of designation, and plaque. Said property has been in my family since the 1940's, and upon the death of my late parents, I purchased said property from the Boston Family Trust. This home was not given to me, nor did I inherit it. It was my late fathers wish to keep the house in our family; in essence I purchased the home to honor his wish. In 2011, I paid \$1.2M, and I have spent much of my hard earned money maintaining its overall beauty.

In 2011, and still a resident of Virginia, I spoke to Ms. Olsen because I was unfamiliar with the specifics of any historical designation. In 2011, and stated by Ms. Olsen, said property is/was of **"No historic significance within Coronado"**. At this time, I was only trying to understand Mills Act, and Ms. Olsen told me said property has/had NO historic significance within Coronado and would never qualify for Mills Act, because it had been **"greatly altered"**. This was due to the many alternations that occurred in the 1980's-1990's to include: the enclosure of the front entry way, [this entry prior to being enclosed was open with arched windows and an arched doorway], exterior siding, a vinyl fence, a wall that has been extended, a circular driveway, vinyl windows, shutters and two 10 panel front French doors versus one solid arched door. This greatly altered exterior gives the overall appearance of said property being a "Cape Cod design" in contrast to how it was originally built in 1922, with a Hispanic design. I was able to locate an old photo of my late grandparents, me and my brother taken March of 1961 that clearly shows the house was originally stucco with wooden windows.

My letter serves to provide information that support my belief that the city survey is incorrect and without merit with its determination of Tier 2 for said property. As defined, **"Recognizable as a particular architectural style but appears more than "unaltered or minimally altered from historic condition"**. My opinion is the city survey was conducted without any historical analysis or makeup of said property. It is also my opinion; the city survey was based on an exterior plaque that would highlight said property as being **"of historical significance"** within Coronado. However in contrast to Ms. Olsen statement, **"Said property has no historical significance within Coronado"**, so the city survey incorrectly labeled said property, and as such, said property needs to be labeled Tier3. While Ms. Olsen personal belief of my family home is of **"no historical significance within Coronado"**, I would be remiss, if I did not state; **"the Pickford-Boston House is of great historical significance"** to me. As part of the overall content of my letter, this statement by Ms. Olsen was not only wrong, it was extremely painful and very hurtful because I had just buried both parents who dearly loved Coronado. She basically, not knowing my family history, dismissed my family. How sad! I would have expected more from a city employee!

Said property is located on the corner of Flora and Isabella Avenue. It is one (1) of six (6) homes [1007 Flora, 1011 Flora, 1033 Isabella, 1035 Isabella, 1039 Isabella] built in or around 1922 that shared a common Hispanic design/theme. Additionally, said properties original exterior was very similar to the five (5) cottages on Flora and Isabella. However, said property has been “**greatly altered**” and no longer has its original exterior design when it was built. It should be noted, one (1) or more of these cottages are in Tier 3.

I am writing to request my home, [REDACTED] Flora be classified as Tier 3. If this status is not corrected, I believe the city has incorrectly categorized said property. Additionally, of greater concern to me, by mislabeling said property, the city is restricting my personal freedom and will limit my ability to do any major construction or demonization without permission from the city. The premise of my argument is: In 2011, Ms. Olsen, who was representing the city, refused to acknowledge the historic significance of said property for Mills Act, due to its many exterior alternations. However, now the city has classified said property as “**Recognizable as a particular architectural style but appears more than unaltered or minimally altered from historic condition**”. The lack of consistency is not only wrong; it send a huge message: Now, as a property owner, I have lost control of my property and in essence, for future home endeavors, this tier will cause me harm, hardship and potentially a great financial obligation.

Please review the attached photos and if the city supports the classification of said property, as Tier 2, I would like to understand your decision. While this letter is being sent through Tricia Olsen, who I have evoked within the body of my letter, I would appreciate your personal confirmation that my letter was received by you and reviewed by you. I will also need to be informed if this request is denied and the rationale in denying my request.

Respectfully submitted,

Anne Boston Parish

Attachments: 10

**From:** [Anne Boston Parish](#)  
**To:** [Tricia Olsen](#)  
**Cc:** [REDACTED]  
**Subject:** Re: City Survey: [REDACTED] Flora Ave  
**Date:** Thursday, April 11, 2024 10:26:51 AM

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Tricia, my family home located at [REDACTED] Flora Avenue was historically designated in 1981. I have provided you with all pertinent critical data that supported the dedication. My request is to honor this historic designation, my goal is to continue to honor my late grandparents and parents. Please add my home to the city's preservation list. If you require, I complete an application for historic designation, then I would expect all 34 homes, that were dedicated on that day, in 1981, be required to comply with your present-day requirement. This requirement seems not only unnecessary but unfair, and clearly demonstrates overt bias that you now are imposing on me. I pose the question: why are you singling out my home? Please advise me of your decision in this matter. Anne Parish

Sent from my Verizon, Samsung Galaxy smartphone  
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**From:** Tricia Olsen <tolsen@coronado.ca.us>  
**Sent:** Thursday, April 11, 2024 9:04:54 AM  
**To:** Anne Boston Parish <[REDACTED]>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** RE: City Survey: [REDACTED] Flora Ave

Good morning Anne,

I do not have a copy of that Coronado Historical Association pamphlet. Many years ago I talked with the Coronado Historical Association about the homes that they provided the rectangular CHA plaques to prior to the City of Coronado having a Historic Preservation program, and they gave me the attached lists. Since I don't see [REDACTED] Flora Avenue listed on any of these, clearly these lists don't include all of the properties that CHA gave plaques to, but this is what they have given me. Over time, many of the property owners of homes on these lists have also nominated their property for historic designation by the City, so those properties are listed on the City's Historic Resource Register and have also received an oval plaque noting the City's designation. Of course you are welcome to do the same for your property if you'd like.

You stated in your letters to City Council regarding the Citywide Survey that you think the property at [REDACTED] Flora should be classified as a Tier 3 property. A Tier 3 classification indicates that the property is substantially architecturally modified and would be considered not potentially significant. However your emails to me regarding the CHA designation of the property suggest that you believe the property does have historical significance. I want to make sure that I communicate your public comment regarding the Tier classification to the City Council correctly, so if you can clarify whether you feel the property should be included in Tier 3 (not potentially historic, no required historic review in association with a project or demolition) or Tier 2 (potentially historic and requiring a historic review in association with a project or demolition), I would appreciate it.

My direct supervisor is Rich Grunow, Director of Community Development [rgrunow@coronado.ca.us](mailto:rgrunow@coronado.ca.us)

Thank you,  
 Tricia

Tricia Olsen, MCP, AICP  
 Senior Planner



**CITY OF CORONADO**  
Community Development Department  
1825 Strand Way | Coronado, California 92118  
Email: [tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us) | Phone: (619) 522-7329

*Tuesday/Thursday – remote and available via email, or by appointment via Zoom/Teams.  
Mondays/Wednesday/Friday – in office and available via email, or by appointment via Zoom/Teams/Planning Counter*

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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Wednesday, April 10, 2024 4:14 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED]  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

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Tricia, I am very disappointed in your lack of adequate response and your unfounded rationale. There is no reasonable rationale for your reply. You suggest I apply for a historic designation? The home on Flora has already been designated. Why are you so unreasonable with your position? I wonder if the other 33 homes were given preferred status or grandfathered onto your list? I would prefer not to go public but it is the only option, since you are not able to adjust your beliefs. Again, I know you respond to council and the city manager, so if you are unwilling to help me get this resolved, it may be in my best interest, to get the city involved and alert the public. You are a paid city employee who is supposed to be fair and without bias to all residents, not just those with whom you appease. You have nothing to gain to wage a war against me and withholding critical data, is wrong. Again, who is your immediate supervisor? Please do not pander to my requests. Anne Parish

Sent from my Verizon, Samsung Galaxy smartphone  
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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Wednesday, April 10, 2024 3:23:10 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

Tricia, who is your immediate supervisor? Anne

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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Wednesday, April 10, 2024 3:06:09 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

Tricia, I have already provided you with a photo of the pamphlet. 34 homes were dedicated that day, it would be helpful if you could tell me the origin of those homes? 1981, was before your time, but surely you have the pamphlet? I guess I could write a newspaper article solely to seek other home ownership, of homes that were dedicated in 1981? There may be great dissent for what you are doing and by representing the city, it is

embarrassing. It would be the easiest way to gather public information about the 34 homes. You have no basis for your rationale, and are discriminating against my family home. Anne

Sent from my Verizon, Samsung Galaxy smartphone  
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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Wednesday, April 10, 2024 2:52:30 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

Tricia, you must be kidding. You know that throughout Coronado there are rectangle brass plaques, that were the original historical designated plaques. I have one on my home at Loma, and when it was Mills Act, given a circular sign. The circular plaques, are newer, and not brass. For some reason, you continue to throw road blocks up, I am not sure why, but in this case, you are wrong. Anne

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**From:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Sent:** Wednesday, April 10, 2024 2:11:07 PM  
**To:** Anne Boston Parish <[REDACTED]>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** RE: City Survey: [REDACTED] Flora Ave

Anne,

The photo of the plaque and recognition of [REDACTED] Flora Avenue that you provided is from the Coronado Historical Association, not the City of Coronado. I understand the confusion, many times property owners see the plaque from the Coronado Historical Association and it is confused with the City of Coronado plaque that is provided to designated Historic Resources. A picture example of the City of Coronado plaque is attached for your reference. I don't have any record of [REDACTED] Flora Avenue being reviewed and designated by the City of Coronado Historic Resource Commission. If you would like to nominate the property for designation as a City of Coronado Historic Resource you may do so by submitting a Determination of Historic Significance application, which is available on our website here: <https://www.coronado.ca.us/DocumentCenter/View/3525/Determination-of-Historic-Significance-Application>

Thank you,  
Tricia

Tricia Olsen, MCP, AICP  
Senior Planner



**CITY OF CORONADO**  
Community Development Department  
1825 Strand Way | Coronado, California 92118  
Email: [tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us) | Phone: (619) 522-7329

*Tuesday/Thursday – remote and available via email, or by appointment via Zoom/Teams.  
Mondays/Wednesday/Friday – in office and available via email, or by appointment via Zoom/Teams/Planning Counter*

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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Wednesday, April 10, 2024 9:57 AM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED]  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

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Tricia, so you are basically saying, in 1981, when 34 properties were historically designated, to include 1001 Flora, none are considered historically designed? This is contrary to all the documents that I submitted to you. If you will not identify my home on Flora as historically designed then all of the 34 are not historically designed, and need to be removed from your list. By means of Roy Pickford, [Pickford-Boston House] a prominent builder in Coronado, who built the house and lived in the house, prior to my grandparents buying the home, and as the city designed it in 1981, you need to further explain your rationale. Why are you arbitrary about the homes historically designation, when I provided a certificate, a pamphlet of the designation and the city presented my late family a city historical destination? Please respond. Anne Parish

Sent from my Verizon, Samsung Galaxy smartphone  
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**From:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Sent:** Wednesday, April 10, 2024 9:39:09 AM  
**To:** Anne Boston Parish <[REDACTED]>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** RE: City Survey: [REDACTED] Flora Ave

Anne,  
I replied to your previous emails on 9/18/23, 3/4/24, and 4/2/24. And as I have previously told you, I will include your comments regarding the historic survey along with all others when the item returns to City Council. I anticipate that I will return to City Council to provide them the update on the public review period in June.

Your property on Flora Avenue is not currently a designated historic resource, and per the attached recommendations that went to City Council in November, your property is recommended by staff to be identified in tier 3, which would exclude the property from any required historic review if the City Council adopts the survey for use. The historic survey item will return to City Council again near the end of 2024, and I am hopeful that it will be adopted for use at that time.

Tricia Olsen, MCP, AICP  
Senior Planner



**CITY OF CORONADO**  
Community Development Department  
1825 Strand Way | Coronado, California 92118  
Email: [tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us) | Phone: (619) 522-7329

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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Tuesday, April 9, 2024 8:46 AM

**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED]  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

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Tricia, I have sent you 4 (four emails, 2 (two) letters and you have not provided me with any concrete information. Since 2011, you have dismissed my questions and never shown me any respect for providing critical data to my emails. You were incorrect in 2011, telling me my home on Flora was not a historic landmark and yet to date, you have ignored my simple requests for data in regard to the tier allocation. If you are unwilling to help me, please direct me to someone who can shed some light on this matter. Please do not ignore this email. Anne Parish

Sent from my Verizon, Samsung Galaxy smartphone  
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---

**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Tuesday, April 2, 2024 11:00:33 AM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

Tricia, did you forward my second letter to those addressed? Anne Parish

Sent from my Verizon, Samsung Galaxy smartphone  
Get [Outlook for Android](#)

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**From:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Sent:** Tuesday, April 2, 2024 9:37:37 AM  
**To:** Anne Boston Parish <[REDACTED]>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** RE: City Survey: [REDACTED] Flora Ave

Anne,

I have no update for you since my email of March 4<sup>th</sup>, below, as the item has not yet returned to City Council.

Thank you,  
Tricia

Tricia Olsen, MCP, AICP  
Senior Planner



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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Monday, April 1, 2024 9:57 AM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Cc:** [REDACTED]  
**Subject:** Re: City Survey: [REDACTED] Flora Ave

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Tricia, I am writing to request an update to the tier level for my home located at [REDACTED] Flora Avenue. I have not received any confirmation from those in which I sent my concerns. I have no idea if anyone has read my letter. In all fairness to me, this clearly demonstrates the laissez-faire approach to a residents concerns and supports why i any faith in city management or council. A simple rely would be expected if not necessary before a vote is cast. I am extremely disappointed in the lack of interest in my concerns. I devoted much time and effort to document my concerns and to no avail has anyone from the city or council replied. Anne Parish

Sent from my Verizon, Samsung Galaxy smartphone  
Get [Outlook for Android](#)

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**From:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Sent:** Monday, March 4, 2024 10:25:41 AM  
**To:** Anne Boston Parish <[REDACTED]>  
**Cc:** [REDACTED] <[REDACTED]>  
**Subject:** RE: City Survey: [REDACTED] Flora Ave

Ann,  
Your initial letter to me (attached) was provided to the City Council when they considered the Draft Historic Context Statement and Survey at their November 21, 2023 meeting. At that time, your property was recommended by staff to be moved from Tier 2 to Tier 3 (see attached table of proposed tier adjustments). The City Council did not adopt the Draft Survey at that November meeting, rather, at that meeting they directed staff to conduct additional outreach to all property owners and residents in the form of direct mail letters. Staff will bring the Draft Survey back to council when that outreach period is complete and your property will continue to be recommended as Tier 3.

Thank you,  
Tricia

Tricia Olsen, MCP, AICP  
Senior Planner



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**From:** Anne Boston Parish <[REDACTED]>  
**Sent:** Sunday, March 3, 2024 1:34 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>

Cc: [REDACTED]  
Subject: City Survey: [REDACTED] Flora Ave

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[thumbnail\\_20240223\\_093956.jpg](#)



[thumbnail\\_20240223\\_094504.jpg](#)



[thumbnail\\_20240223\\_094535.jpg](#)



[thumbnail\\_20240223\\_094827 \(1\).jpg](#)



[thumbnail\\_20240223\\_094827 \(2\).jpg](#)



[thumbnail\\_20240223\\_094827.jpg](#)



[thumbnail\\_20240229\\_102857.jpg](#)



[thumbnail\\_20240229\\_102908.jpg](#)



[thumbnail\\_20240302\\_104452.jpg](#)



[thumbnail\\_20240302\\_151104.jpg](#)



[thumbnail\\_20240303\\_102441.jpg](#)

**Anne Boston Parish**  
[REDACTED] Loma Ave  
**Coronado, California 92118**

March 2, 2024

**Reference:** [REDACTED] Flora Avenue, Coronado

To Mayor Bailey, Membership of Coronado City Council and City Manager-

I am in receipt of a letter dated February 5, 2024 from Community Development. This letter is in regard to a city survey to classify historically significant properties greater than 75 years old. This is my second email to the city, and to Ms. Tricia Olsen, September 19, 2023, with no reply as to my previous request. Ms. Olsen advised me that my email would be forward to you, however to date, I have never received any sort of communication from you. I am not a suspicious person, but I suspect you may not have received my email. To be honest, nothing surprises me anymore in regard to city and its decisions, but the over lack of genuine concern for a permeant resident, is my opinion less than best. This letter is my reply to the city for said property: [REDACTED] Flora Avenue. The purpose of this letter is to present facts that support my request that said property be removed from Tier 2 and labeled Tier 3.

The succeeding information will pre-date your positions on Council and the city, so if you are unfamiliar with the facts, I can appreciate this notion, but there are city employee(s) who pre-date you, and for that reason, I am directly sending this reply to you, through Ms. Olsen. I will provide the facts that will include my thoughts, beliefs and ideas.

On June 28, 1981, the Coronado Historical Association dedicated 34 Homes as Coronado Historical Landmarks. On that day, my late parents were honored to have the city dedicate [REDACTED] Flora Ave, the Pickford-Boston House as a Coronado Historical Landmark. Of note, on that day, my primary residence located at [REDACTED] Loma Ave was dedicated as a Coronado Historical Landmark, and in contrast, the city has never disputed this property as a Coronado Historical Landmark. I have attached photos of the 1981 dedication pamphlet, the certificate of designation, and plaque. Said property has been in my family since the 1940's, and upon the death of my late parents, I purchased said property from the Boston Family Trust. This home was not given to me, nor did I inherit it. It was my late fathers wish to keep the house in our family; in essence I purchased the home to honor his wish. In 2011, I paid \$1.2M, and I have spent much of my hard earned money maintaining its overall beauty.

In 2011, and still a resident of Virginia, I spoke to Ms. Olsen because I was unfamiliar with the specifics of any historical designation. In 2011, and stated by Ms. Olsen, said property is/was of **“No historic significance within Coronado”**. At this time, I was only trying to understand Mills Act, and Ms. Olsen told me said property has/had NO historic significance within Coronado and would never qualify for Mills Act, because it had been **“greatly altered”**. This was due to the many alternations that occurred in the 1980's-1990's to include: the enclosure of the front entry way, [this entry prior to being enclosed was open with arched windows and an arched doorway], exterior siding, a vinyl fence, a wall that has been extended, a circular driveway, vinyl windows, shutters and two 10 panel front French doors versus one solid arched door. This greatly altered exterior gives the overall appearance of said property being a “Cape Cod design” in contrast to how it was originally built in 1922, with a Hispanic design. I was able to locate an old photo of my late grandparents, me and my brother taken March of 1961 that clearly shows the house was originally stucco with wooden windows.

My letter serves to provide information that support my belief that the city survey is incorrect and without merit with its determination of Tier 2 for said property. As defined, ***“Recognizable as a particular architectural style but appears more than “unaltered or minimally altered from historic condition”***. My opinion is the city survey was conducted without any historical analysis or makeup of said property. It is also my opinion; the city survey was based on an exterior plaque that would highlight said property as being **“of historical significance”** within Coronado. However in contrast to Ms. Olsen statement, **“Said property has no historical significance within Coronado”**, so the city survey incorrectly labeled said property, and as such, said property needs to be labeled Tier3. While Ms. Olsen personal belief of my family home is of **“no historical significance within Coronado”**, I would be remiss, if I did not state; **“the Pickford-Boston House is of great historical significance”** to me. As part of the overall content of my letter, this statement by Ms. Olsen was not only wrong, it was extremely painful and very hurtful because I had just buried both parents who dearly loved Coronado. She basically, not

knowing my family history, dismissed my family. How sad! I would have expected more from a city employee!

Said property is located on the corner of Flora and Isabella Avenue. It is one (1) of six (6) homes [1007 Flora, 1011 Flora, 1033 Isabella, 1035 Isabella, 1039 Isabella] built in or around 1922 that shared a common Hispanic design/theme. Additionally, said properties original exterior was very similar to the five (5) cottages on Flora and Isabella. However, said property has been “**greatly altered**” and no longer has its original exterior design when it was built. It should be noted, one (1) or more of these cottages are in Tier 3.

I am writing to request my home, [REDACTED] Flora be classified as Tier 3. If this status is not corrected, I believe the city has incorrectly categorized said property. Additionally, of greater concern to me, by mislabeling said property, the city is restricting my personal freedom and will limit my ability to do any major construction or demonization without permission from the city. The premise of my argument is: In 2011, Ms. Olsen, who was representing the city, refused to acknowledge the historic significance of said property for Mills Act, due to its many exterior alternations. However, now the city has classified said property as “*Recognizable as a particular architectural style but appears more than unaltered or minimally altered from historic condition*”. The lack of consistency is not only wrong; it send a huge message: Now, as a property owner, I have lost control of my property and in essence, for future home endeavors, this tier will cause me harm, hardship and potentially a great financial obligation.

Please review the attached photos and if the city supports the classification of said property, as Tier 2, I would like to understand your decision. While this letter is being sent through Tricia Olsen, who I have evoked within the body of my letter, I would appreciate your personal confirmation that my letter was received by you and reviewed by you. I will also need to be informed if this request is denied and the rationale in denying my request.

Respectfully submitted,

Anne Boston Parish

Attachments: 10

**Tricia Olsen**

---

**From:** Bill Pate <[REDACTED]>  
**Sent:** Tuesday, May 7, 2024 3:20 PM  
**To:** Tricia Olsen  
**Subject:** Re: [REDACTED] Balboa Avenue

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Tricia,

Thanks for the ads. These pictures generally depict how the house is today. The doors, windows, and roof lines remain the same. It is an extremely flawed proposition to characterize the house as "altered beyond recognition" when replacing a small section of exterior finish and a handful of windows the exact same dimensions would restore the property back to its original state. The house is certainly recognizable for certain military housing characteristics as it stands. The City needs to reconsider the nomenclature assigned to the different property classifications. How does any of this differentiate from the properties identified on Cabrillo? Sure seems arbitrary.

When is this going to the City Council again? Thanks.

Bill Pate

On Tue, May 7, 2024 at 2:35 PM Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)> wrote:

Hi Bill,

According to permit history, [REDACTED] Balboa Avenue was constructed in 1955 by Mobilhomes Corp. as a frame and stucco dwelling and garage. While permit records don't appear to have been issued for the alterations to the property, real estate ads found from 1992 and 1974 (attached) help to provide some information about the alterations that have taken place over time. It appears that the original stucco exterior finish material has been either covered or replaced by horizontal siding, sometime prior to 1992, and the original multi-light steel casement windows have been replaced with non-historic vinyl varieties, sometime after 1992. Both of these modifications contribute to the Tier 3 classification. I will include both of your emails in the public comment package that goes to City Council for their consideration.

Thank you,  
 Tricia

Tricia Olsen, MCP, AICP

Senior Planner

CITY OF CORONADO



Community Development Department

1825 Strand Way | Coronado, California 92118

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**From:** Bill Pate <[REDACTED]>  
**Sent:** Tuesday, May 7, 2024 12:42 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Subject:** Re: [REDACTED] Balboa Avenue

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Tricia,

Thanks for your response. The troubling part is if you drove by our home in 1956 and again today there's hardly a discernible difference. The house is the exact same size, and still L-shaped with distinctive characteristics and historical style of an original military house in the Country Club subdivision dating back to the 1950's. The house has not been "altered beyond recognition." I am certain many veterans would recognize this house as former military housing. There are very few of these houses left. The classification does not make any sense, particularly in comparison to similar houses along Cabrillo that received a historic classification. If the intent is to try and garner historical preservation, then the City's classifications appear arbitrary when it comes to comparable properties.

Thanks for your assistance.

Bill

On Tue, May 7, 2024 at 9:22 AM Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)> wrote:

Hi Bill,

## Attachment 2

Thank you for sharing this information. I'm just back in the office today and will look into the evaluation and get back to you. I will also include your comments in the public comment package that goes to City Council when the item returns to them for an update. I anticipate that will be in June, but do not have a for sure date yet, but it will be announced on the Project Coronado page when the item is calendared. <https://www.projectcoronado.org/citywide-historic-resource-survey>

Thank you,  
Tricia

Tricia Olsen, MCP, AICP

Senior Planner

CITY OF CORONADO



Community Development Department

1825 Strand Way | Coronado, California 92118

Email: [tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us) | Phone: (619) 522-7329

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**From:** Bill Pate <[REDACTED]>  
**Sent:** Monday, April 29, 2024 5:08 PM  
**To:** Tricia Olsen <[tolsen@coronado.ca.us](mailto:tolsen@coronado.ca.us)>  
**Subject:** [REDACTED] Balboa Avenue

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Tricia,

I am writing to dispute the classification of our home as Tier 3 "altered beyond recognition." Hardly one square inch of the floorplan has been altered since Mobilehomes Corp. constructed it for military housing in 1955. The house remains exactly 1344 sq. ft, unaltered and minimally changed from when it was built to house the military. It is one of the last remaining OEM original homes in the Country Club area with exact

## Attachment 2

square footage, and historical features such as exposed, notched, and radiused rafter tails without fascia boards, commonplace in the post-war 1950's when lumber was scarce. The property is one of a very rare few that still enjoys a curved driveway to a right angle garage. Less than a dozen such homes survive in the Country Club subdivision. As another example, two small windows are centered on the front of the house. These were bathroom windows, designed for military personnel, because both bathrooms were not connected to the bedrooms. To this day one must "go down the hall" to use the bathroom. Former military personnel know what the small centered windows depict when seen from the street.

Not only does the house enjoy military significance as one of the last vintage military spec houses, it also enjoys historical significance for Coronado. The property was once owned by a member of the Pastor Family who "traded" Larry Lawrence the Crown Manor.

In comparison to the only two Tier 2 properties (one of which has now been scrapped) in the Country Club area, (1) 840 Cabrillo and (2) 841 Cabrillo, it is unclear how those two properties can be differentiated from 851 Balboa. All three were virtually the same, unaltered or minimally altered from historic condition and potentially eligible for City designation under Historic Designation Criterion C. This is particularly true when it comes to preservation of the distinctive characteristics and architectural style associated with military housing dating back to the 1950's.

I look forward to hearing from you about the Tier 3 classification and what this means. Thank you.

Bill Pate

[REDACTED]

Coronado Eagle / 29 April 1992

## Coronado Eagle, Volume 2, Number 22, 29 April 1992



showcase, continued on Page 14.

### **BALBOA AVENUE**



Walk to Beach, Excellent Neighborhood.  
Will Accept Long Escrow.  
3 Bedrooms, 2 Baths  
**\$449,000**

and Grace Wastula C



Stephen Coons, outgoing Coronado Playhouse presented a plaque for behalf of the theatre Member Dean Ecken membership meeting new members.

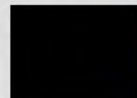
Photo

Senior Friendsh

Coronado Eagle and Journal, Volume 61, Number 22, 30 May 1974



**OPEN HOUSE SUNDAY 1-5**



**BALBOA AVENUE**

3 bedroom, den, 2 bath Country Club home. Indoor-outdoor living at its best.  
\$66,500.

**From:** [clive poole](#)  
**To:** [Tricia Olsen](#)  
**Subject:** [REDACTED] Margarita Avenue, Historic Significance Review.  
**Date:** Monday, March 4, 2024 4:20:38 AM

---

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Dear Tricia

I'm in receipt of your letter of the 5th. February 2024 regarding the consideration in progress relative to the property at the above address.

The property was acquired in 2013 from Kim and Steve Wright. The Wrights had acquired the property approximately 8 years previously and rebuilt and added to the property, before moving to take up residence. I understand that all elevations and roofs were replaced, in addition to alterations and additions. I don't have any information regarding changes to the property prior to the Wrights acquiring the house.

I would like to register at this point that the house whilst superficially having a traditional, New England, appearance is a pastiche and, as far as I know, has no remaining old or architectural features.

We are not in the States at present returning to Coronado in October and would, therefore, appreciate you communicating by email. It would be helpful if you could advise me if there is anything further I should do at this point, as I believe it would be incorrect to view the house as a Tier I property.

Yours,

Clive Poole.

From: [REDACTED]  
To: [Tricia Olsen](#)  
Subject: Re: [REDACTED] I AVE  
Date: Wednesday, February 7, 2024 5:40:57 PM

---

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Oh, third question,  
How was the review conducted?  
Thanks, Steve

On Wednesday, February 7, 2024 at 05:38:39 PM PST, [REDACTED] <[REDACTED]> wrote:

Hello,  
I have a couple questions about the Tier placement on my property.  
1) Are Craftsman Bungalows considered an element of a particular architectural style?  
2) What appears to be substantially altered on my house?  
Just curious,  
Thanks, Steve Renly

**From:** [REDACTED]  
**To:** [Tricia Olsen](#)  
**Subject:** HistoricalHome at [REDACTED] H Ave  
**Date:** Saturday, February 24, 2024 12:22:19 PM

---

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Dear Ms Olsen,

The City letter of February 5, lists our home at [REDACTED] H Ave as built in 1934. An appraisal listed it as built in 1922. Tom Rice (deceased) was born in 1922 in the house at 630 H Ave. Both houses are very similar. In my amateur opinion both houses were built by the same person at about the same time.

Our house underwent a significant remodel (down to the studs) in 1986. The street facing footprint of the house is the same. The front window was definitely enlarged. A master bedroom was added in the rear after 1950. We enlarged the front steps in 2015.

We intend to live here until we cannot maintain the house and would like to see it preserved if possible.

Thanks for your time.

Joseph (Mike) and Leigh Vizzier

**From:** [Roderic Wolfe](#)  
**To:** [Tricia Olsen](#)  
**Subject:** Tier rating  
**Date:** Saturday, February 10, 2024 9:37:49 AM

---

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Tricia Olsen,

I recently received a letter from the city of Coronado concerning my property at [REDACTED] Cabrillo Ave., which was built in 1955. The letter states in part "Currently, your property is not yet 75 years old and is not subject to Historic Significance Review under the existing program."

if the only criteria used to make that determination is the age of the property, I assume that that might well change 2030 when the property is, at that point, 75 years old. Are there any other criteria currently used to make that determination, or is age the only factor?

Rod Wolfe