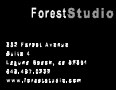


JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA



PROJECT TEAM		PROJECT DESCRIPTION	PROJECT CALCULATIONS		SHEET INDEX	
OWNER	GENERAL CONTRACTOR	NEW TWO-STORY, SINGLE FAMILY, DETACHED CUSTOM RESIDENCE WITH 4 BEDROOMS, 4.5 BATHROOMS, 2 CAR DETACHED GARAGE, AND ACCESSORY DWELLING UNIT (ADU). AT GARAGE TO BE CONSTRUCTED. EXISTING RESIDENCE TO BE DEMOLISHED UNDER SEPARATE PERMIT.	AREA CALCULATIONS		FLOOR AREA RATIO (F.A.R.)	
			TOTAL CALC		TOTAL CALC	
			TOTAL CALC		TOTAL CALC	
ARCHITECTURAL DESIGN TEAM		PROJECT LOG	TOTAL CALC		TOTAL CALC	
CHARLES G'ARCY GARCY & ASSOC. ARCHITECTURE, INC. 18 TECHNOLOGY DRIVE STE 161 IRVINE, CA 92618 PH: 949.407.7760 charles@garcyarchitecture.com			TOTAL CALC		TOTAL CALC	
LANDSCAPE ARCHITECT			TOTAL CALC		TOTAL CALC	
CHELSEA EDMONSTON CHELSEA CORNINE STUDIO 120 TUBBIN AVE STE C227 NEWPORT BEACH, CA 92663 PH: 949.887.0247 chekece@chelseacorninestudio.com		BOB WHITE FOREST STUDIO 332 FOREST AVE STE 4 LAGUNA BEACH, CA 92651 PH: 949.467.0202 bob@foreststudio.com	TOTAL CALC		TOTAL CALC	
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JENSEN RESIDENCE
700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

COVER SHEET

SCALE : AS NOTED

A000



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

ARCHITECTURAL
RENDERINGS

NTS

A040



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12/24/24

ARCHITECTURAL
RENDERINGS

NTS

A041



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

ARCHITECTURAL
RENDERINGS

NTS

A042



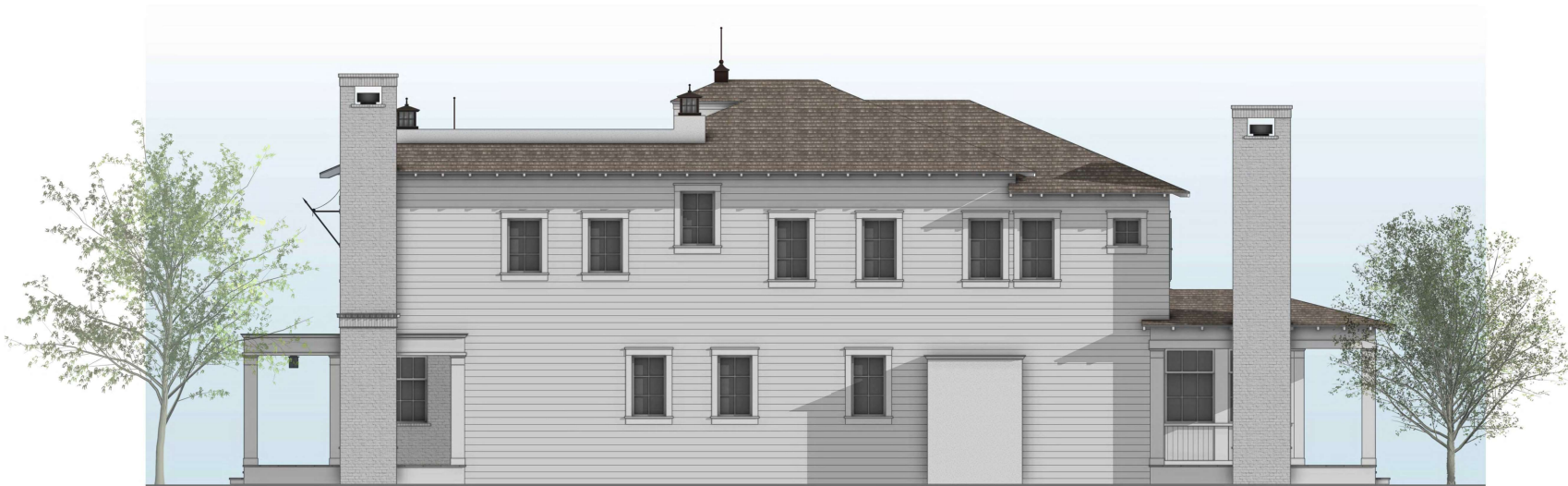
FRONT ELEVATION ①



LEFT SIDE ELEVATION ②



REAR ELEVATION 3



RIGHT SIDE ELEVATION 4



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

ARCHITECTURAL
RENDERINGS -
GARAGE & ADU
EXT. ELEVATIONS

SCALE: 1/4" = 1'-0"

A045



RIGHT SIDE ELEVATION 4



REAR ELEVATION 3



LEFT SIDE ELEVATION 2



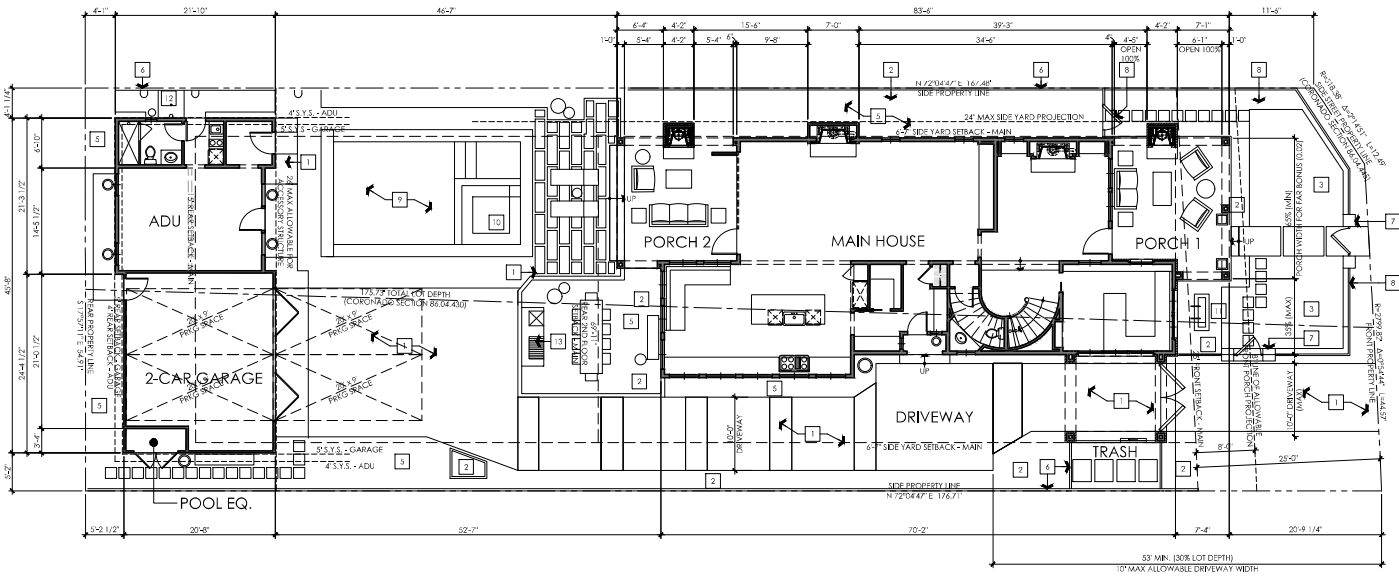
FRONT ELEVATION 1

SITE PLAN NOTES

- A. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- B. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOFTOP.
- C. TREES GRADE WITHIN 10 FEET OF THE NEW STRUCTURE ADDITION SHALL BE SET BACK A MIN. 25' AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
- D. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOLID PARTICULATE, CONSTRUCTION WASTE MATERIAL, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, OUTLET OR STORM DRAIN SYSTEM.
- E. ALL DRAINAGE SHALL BE MAINTAINED AND IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

SITE PLAN KEYNOTES

- SYMBOL
- 1 HARDSCAPE. SEE LANDSCAPE DRAWINGS
 - 2 PLANTING AREA. SEE LANDSCAPE DRAWINGS
 - 3 LAWN. SEE LANDSCAPE DRAWINGS
 - 4 ARTIFICIAL TURF. SEE LANDSCAPE DRAWINGS
 - 5 GRAVEL PAVING. SEE LANDSCAPE DRAWINGS
 - 6 YARD WALL. SEE LANDSCAPE DRAWINGS
 - 7 FENCE. SEE LANDSCAPE DRAWINGS
 - 8 FENCE / GATE. SEE LANDSCAPE DRAWINGS
 - 9 SWIMMING POOL. SEE LANDSCAPE DRAWINGS
 - 10 SPA. SEE LANDSCAPE DRAWINGS
 - 11 WATER FEATURE. SEE LANDSCAPE DRAWINGS
 - 12 OUTDOOR SHOWER. SEE LANDSCAPE DRAWINGS
 - 13 BUILT-IN BBQ. SEE LANDSCAPE DRAWINGS



GLORIETTA BOULEVARD



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

SITE PLAN

SCALE: 1/8" = 1'-0"

A050

ForestStudio

3121 PAPER AVENUE
SUITE 100
SAN DIEGO, CA 92108
619.437.1997
WWW.FORESTSTUDIO.COM

Allowable Base "Floor Area Ratio" (FAR) and Maximum FAR vs. "Gross Lot Area" (GLA)											
GLA (sq. ft.)	Base FAR	Max FAR	GLA (sq. ft.)	Base FAR	Max FAR	GLA (sq. ft.)	Base FAR	Max FAR	GLA (sq. ft.)	Base FAR	Max FAR
600	0.641	0.740	3100	0.606	0.697	5600	0.525	0.633	8100	0.436	0.565
700	0.640	0.738	3200	0.604	0.695	5700	0.521	0.630	8200	0.432	0.562
800	0.639	0.736	3300	0.603	0.693	5800	0.519	0.628	8300	0.429	0.560
900	0.637	0.735	3400	0.601	0.692	5900	0.514	0.625	8400	0.425	0.557
1000	0.636	0.733	3500	0.600	0.690	6000	0.511	0.622	8500	0.421	0.554
1100	0.634	0.731	3600	0.596	0.687	6100	0.507	0.619	8600	0.418	0.552
1200	0.633	0.729	3700	0.593	0.685	6200	0.504	0.617	8700	0.414	0.549
1300	0.631	0.728	3800	0.589	0.682	6300	0.500	0.614	8800	0.411	0.548
1400	0.630	0.726	3900	0.586	0.679	6400	0.496	0.611	8900	0.407	0.543
1500	0.629	0.724	4000	0.582	0.676	6500	0.493	0.609	9000	0.404	0.541
1600	0.627	0.723	4100	0.579	0.674	6600	0.489	0.606	9100	0.400	0.538
1700	0.626	0.721	4200	0.575	0.671	6700	0.486	0.603	9200	0.396	0.535
1800	0.624	0.719	4300	0.571	0.668	6800	0.482	0.600	9300	0.393	0.533
1900	0.623	0.717	4400	0.568	0.666	6900	0.479	0.598	9400	0.389	0.530
2000	0.621	0.716	4500	0.564	0.663	7000	0.475	0.595	9500	0.386	0.527
2100	0.620	0.714	4600	0.561	0.660	7100	0.471	0.592	9600	0.382	0.524
2200	0.619	0.712	4700	0.557	0.657	7200	0.468	0.590	9700	0.379	0.522
2300	0.617	0.711	4800	0.554	0.655	7300	0.464	0.587	9800	0.375	0.519
2400	0.616	0.709	4900	0.550	0.652	7400	0.461	0.584	9900	0.371	0.516
2500	0.614	0.707	5000	0.546	0.649	7500	0.457	0.581	10000	0.368	0.514
2600	0.613	0.705	5100	0.543	0.646	7600	0.454	0.579	10100	0.364	0.511
2700	0.611	0.704	5200	0.539	0.644	7700	0.450	0.576	10200	0.361	0.508
2800	0.610	0.702	5300	0.536	0.641	7800	0.446	0.573	10300	0.357	0.505
2900	0.609	0.700	5400	0.532	0.638	7900	0.443	0.571	10400	0.354	0.503
3000	0.607	0.699	5500	0.529	0.636	8000	0.439	0.568	10500	0.350	0.500

The base FAR may be cumulatively increased to the maximum FAR shown in the above chart and table if the development is designed:

- A. With a different front elevation compared to all other development on both the subject block face and the block face immediately across the street from the front of the subject property if new construction, replacement, or 50 percent or more reconstructed or restored; and
- B. With one or more of the following additional design features incorporated into the project. Each additional design feature has a corresponding FAR bonus, which is cumulatively added to the base FAR up to the maximum FAR permitted above. In addition, the following list is succeeded by a list of FAR deductions, which cumulatively reduce the allowable FAR, but in no case shall the allowable FAR be reduced below the above base FAR:

ADDITIONAL DESIGN FEATURES	FAR BONUS
LANDSCAPE (A maximum of 0.03 FAR bonus points permitted.)	
1. Preserve an existing tree (with a minimum diameter of eight inches for a shade tree or 16 inches for a palm tree, measured four feet, six inches above the root crown, and a height of no less than 20 feet) and its root system in the required front yard, and install an automatic irrigation system for all landscaping in the front yard, including the adjoining public property.	.02
2. Preserve an existing shade tree (with a minimum diameter of eight inches, measured four feet, six inches above the root crown, and a height of no less than 20 feet) and its root system on the subject property, other than within the required front yard, and install an automatic irrigation system for all landscaping in the rear yard.	.01
FRONT PORCH	
3. An unenclosed front porch with a minimum of 50 percent of the perimeter walls of said porch at least 65 percent or more permanently open to the passage of light and air (porches on corner lots may may project a maximum of 60 percent of the required length around the corner of the dwelling from the front to the street side yard as long as required setbacks are satisfied).	
A. Raised a minimum of 12 inches above the ground, has a length of at least 65 percent of the width of the dwelling, projects out a minimum of eight feet from the dwelling (eaves may project an additional 12 inches) and a minimum of 50 percent is covered with a permanent, solid, waterproof roof and the remaining portion covered by a minimum 10 percent solid trellis, or	.02
B. Has a length of at least 50 percent of the width of the dwelling, projects out a minimum of six feet from the dwelling (eaves may project an additional 12 inches) and is 100 percent covered with a permanent, solid, waterproof roof.	.01
ROOFS (A maximum of 0.02 FAR bonus points permitted.)	
4. A roof on the main building having a slope of at least 4:12 but less than 6:12 (or at least 80 percent of the total building area with eaves projecting a minimum of 12 inches for the entire sloped roof perimeter).	.01
5. A roof on the main building with a pitch of 6:12 or greater for at least 80 percent of the total building area with eaves projecting a minimum of 12 inches for the entire sloped roof perimeter and the 6:12 portion of the roof's ridge was perpendicular to the street.	.02
6. On lots which are 40 feet or less in width, a main building with a variation of roof lines visible from all adjoining street rights-of-way.	.01
7. A roof on the main building having a slope of 4:12 or greater for at least 80 percent of the total building area with eaves equivalent to at least five percent of the width of the front facade for the entire sloped roof perimeter with a minimum of 24 inches.	.01
WINDOWS	
8. All windows along both side facades of the main building, at the second story, offset horizontally at least 12 inches (edge to edge) from windows of immediately adjoining main buildings. Windows with a sill height of 66 inches or more above the floor or separated by 20 feet or more horizontally are not required to be offset.	.01
STRUCTURAL COVERAGE	
9. A maximum total structural coverage of 40 percent with exceptions otherwise permitted:	
A. For lots with a gross lot area of 5,650 square feet or less, or	.02

ADDITIONAL DESIGN FEATURES	FAR BONUS
B. For lots with a gross lot area greater than 5,650 square feet.	.01
10. A main building where the second-story gross floor area and floor area equivalent is 50 percent or less of the gross floor area and floor area equivalent of the first story.	.02
GARAGES AND DRIVEWAYS (A maximum of 0.02 FAR bonus points permitted.)	
11. An on-grade detached garage adjacent to the rear property line with the following garage and site restrictions: (a) limited to a depth of 26 feet from the rear property line; (b) a maximum of 11 feet in height for flat roofs or 13 feet in height for sloped roofs of 4:12 or greater; and (c) a minimum rear yard setback of 66 feet to any main building (the separation between the garage and main building shall be open from the ground to the sky except for projections or landscape accessory structures otherwise permitted).	.02
12. A garage with the following garage and site restrictions: (a) on a lot that does not abut an alley, or due to the location of the lot or physical attributes of the land the garage may only be accessed by vehicles through the front yard; (b) the garage provides the required covered parking; and (c) the lot is not a corner lot.	
A. All on-grade garages located in the rear 50 percent of the lot depth with a driveway maximum width of 10 feet in the first 30 percent of the lot depth.	.02
B. All on-grade attached garages with parking garage doors which are visible from the street with a maximum cumulative door width of 16 feet, set back four feet or more from the dominant adjoining building facade and which are wood and contain architectural details.	.01
C. All parking garages with vehicle access doors turned 90 degrees or more from the street or which are otherwise not visible from the street, provided the garage door(s) are facing the adjacent side yard setback and the garage wall facing toward the street does not extend beyond the adjacent front facade of the building.	.01
SETBACKS AND HEIGHT	
13. A main building limited to one story with a maximum height of 14 feet to top of a flat roof and 20 feet to the ridge or peak of sloped roofs (otherwise permitted exceptions allowed).	.03
14. A main building with a maximum flat or ridge roof height of 150 percent of the flat or sloped roof height of the shortest of the immediately adjoining next door main building, provided at least one of the neighboring main buildings does not exceed one story or 14 feet in height (may not be combined with other height features).	.02
15. A main building with a roof height limited to 90 percent of otherwise allowable height (may not be combined with other height features).	.01
16. A second-story front facade set back a minimum of eight feet from the dominant first-story facade for a minimum of 70 percent of the width of the first story.	.01
17. A courtyard on the side facade of the main building which is along a "northerly side lot line," open to the side yard, of at least 15 feet in width (parallel to the side property line), and a minimum depth of 30 percent of the lot width from the side property line. Said courtyard shall be open to the sky, except for architectural features which may project into the courtyard up to a maximum of 10 percent of the lot width. Said courtyard shall be an integral part of the main building and not open to the front or rear yards.	.01
18. A main building with one increased side yard setback above 16 feet in height which slopes away from the vertical plane of the required side yard setback line by at least 45 degrees:	
A. With the increased side yard provided along a "northerly side lot line"; or	.02

ADDITIONAL DESIGN FEATURES	FAR BONUS								
B. With the increased side yard located other than along the "northerly side lot line."	.01								
Dormers shall be permitted to encroach into the 45-degree setback; provided, that they comply with CMC 86.56.130, Roof dormers.									
19. A main building with increased side yard setbacks on both sides above 16 feet in height which slope away from the vertical plane of the required side yard setback lines by at least 45 degrees. Dormers shall be permitted to encroach into the 45-degree setbacks; provided, that they comply with CMC 86.56.130, Roof dormers (may not be combined with number 18).	.02								
20. One side yard setback above the first story which is at least 33 percent greater than the minimum required side yard setback.	.01								
21. Both side yard setbacks above the first story which are at least 33 percent greater than the minimum required side yard setback (may not be combined with number 20).	.02								
22. On lots which are 30 feet or less in width, two or more attached dwellings and covered parking constructed with a common zero side yard setback on two or more lots having contiguous interior lot lines. The remaining side yards shall not be less than 20 percent of the width of each respective lot. All side street lot lines and interior lot lines adjoining property not part of the development shall not be permitted to have such a reduced side yard.	.02								
ARCHITECT AND DESIGN REVIEW									
23. Plans drawn, stamped and signed by a California licensed architect with the architect's record a title block on all sheets of the plans and an affidavit signed by the architect stating that the plans were drawn by or under the direct supervision and approval of him or her.	.01								
24. Approval from the Design Review Commission of the exterior design of all proposed structures on the property.	.04								
HISTORIC DESIGNATION									
25. Approval of a historic alteration permit by the City of Coronado.	.02								
FAR DEDUCTIONS									
26. FAR Deductions.									
A. More than 18 lineal feet (cumulative) of garage door(s) or garage doors over 8 feet in height on the front facade of the main building;	-.01								
B. For existing dwellings, a deck or balcony on any building adjoining a building facade or on or above the roof which is above the finished floor of the second story or 14 feet above grade, which does not have all of the following minimum setbacks:	-.01								
1. A front and street side setback of five feet from the adjoining front or street side facade;									
2. An interior side setback from the side facade of the structure as follows:									
<table><tr><td>Lot Width</td><td>Facade Setback Required</td></tr><tr><td>25 feet or less</td><td>3 feet</td></tr><tr><td>26 - 50 feet</td><td>5 feet</td></tr><tr><td>51 feet and greater</td><td>8 feet</td></tr></table>	Lot Width	Facade Setback Required	25 feet or less	3 feet	26 - 50 feet	5 feet	51 feet and greater	8 feet	
Lot Width	Facade Setback Required								
25 feet or less	3 feet								
26 - 50 feet	5 feet								
51 feet and greater	8 feet								
3. A rear setback of 50 percent of the lot depth;									
C. A main building whose front and side elevations have architectural elements such as, but not limited to, windows, doors and columns that are higher than 14 feet.	-.01								

ADDITIONAL DESIGN FEATURES	FAR BONUS
D. For existing dwellings, a finished first-story floor or a finished floor directly above an underground parking garage or basement greater than 30 inches above grade.	-.01
E. For existing dwellings, landscaping with plant material or water features between the front of the main building and the front property line which is less than 40 percent of said area for lots with a frontage less than 50 feet in width, and less than 60 percent for lots with a frontage of 50 feet or greater;	-.01
F. A main building with facades of the same color, style, and texture as the main building of either adjoining property.	-.01
G. Construction of a new main building with the same roof pitch as the main building of either adjoining property as viewed from the street (a minimum of 4:12 difference is required). The following roofs are excluded:	-.01
1. Roofs with the main ridge line oriented 90 degrees to the ridge line of both adjoining roofs; and	
2. Roofs with the main ridge line having an eight-foot or greater vertical height difference as compared to the ridge line of both adjoining roofs (e.g., one story vs. two story).	

(Ord. 2062 § 2 (Exh. A), 2016)

86.08.037 Lot frontage required for CC-1 Subzone. The lot frontage of CC-1 Subzone lots shall be at least 65 feet in length, on at least one public street. (Ord. 2062 § 2 (Exh. A), 2016)

86.08.040 Front yard required. There shall be a front yard of not less than 25 feet.

The following are exceptions to this requirement:

- A. Lots having a depth of 60 feet or less shall have a front yard of not less than 15 percent of the depth of the lot.
- B. Lots with a "front lot line" solely along an alley shall provide a first-story front yard of no less than five feet and a secondary front yard of no less than 10 feet. No portion of a structure within 10 feet of the alley front lot line shall exceed the height limit for accessory buildings.
- C. Where the average front yard setback of a block face is less than 25 feet, the required setback may be computed based on said average in accordance with CMC 86.56.630. (Ord. 2062 § 2 (Exh. A), 2016)
- 86.08.050 Rear yard required.
- A. There shall be a first-story rear yard of not less than 20 percent of the depth of the lot, provided, however, such rear yard need not exceed 15 feet (the handle portion of a panhandle lot shall be excluded from lot depth calculations).
- B. 1. There shall be a setback of five feet from any rear property line for accessory structures and for covered parking which is attached to the main building, except that for lots without vehicle access from an alley or that front solely on an alley, a maximum of three feet shall be required for rear yards of single-story detached garages limited to 24 feet in width and located in the rear 26 feet of the lot depth.
2. That portion of the covered parking which is in the required rear yard and is attached to the main building shall comply with the allowable height for accessory buildings.
- C. For all lots except those with a rear property line adjoining a public park or bay, there shall be a second-story rear yard of not less than 40 percent of the depth of the lot, except for lots that are 110 feet or less in depth, for which there shall be a second-story rear yard of not less than 30 percent of the lot depth. However, in no case would the lot area of the required second-story rear yard be required to exceed 40 percent or 30 percent of the gross lot area, respectively (the handle portion of a panhandle lot shall be excluded from lot depth calculations).
1. The height of a single story within the required second-story rear yard shall comply with the allowable height for accessory buildings.
2. Roof decks and second-story balconies are prohibited in the second-story rear yard except as otherwise permitted to project from said increased second-story setback line.
- D. For lots 110 feet or less in depth without alley access, single-story additions to existing single-family dwelling buildings or duplexes may extend into the required rear yard a distance of five feet provided the area of such extension does not exceed 25 percent of the required rear yard. In no case shall the rear yard be less than 10 feet at any point and the height of said addition shall comply with the allowable height for accessory

FLOOR AREA RATIO (F.A.R.)

BASE ALLOWABLE F.A.R.:	0.386 F.A.R.
MAX ALLOWABLE F.A.R.:	0.527 F.A.R.
PROPOSED GROSS FLOOR AREA:	
MAIN HOUSE FIRST FLOOR INTERIOR AREA (R3):	1,819.5 SF
MAIN HOUSE FIRST FLOOR "EQUIVALENT AREA" (AUD ENTRY):	15.6 SF
MAIN HOUSE SECOND FLOOR INTERIOR AREA (R3):	1,714.8 SF
MAIN HOUSE SECOND FLOOR "EQUIVALENT AREA" (ROOF STAIR):	59.9 SF
MAIN HOUSE SECOND FLOOR "PHANTOM AREA" (STAIR):	39.0 SF
MAIN HOUSE ROOF DECK "PHANTOM AREA" (DORMER):	24.4 SF
MAIN HOUSE GROSS FLOOR AREA (R3):	3,639.2 SF
ACCESSORY DWELLING UNIT INTERIOR AREA (R3):	507.6 SF
GARAGE, HECH & STORAGE (U):	4,608.0 SF
TOTAL GROSS FLOOR AREA (R3 + U):	4,608.0 SF
PROPOSED F.A.R.:(4608.0 SF / 9594 SF)	0.480 F.A.R.
ALLOWABLE BASE F.A.R.:	0.386 F.A.R.
REQUIRED F.A.R. BONUS	0.094 F.A.R.

ADDITIONAL DESIGN FEATURES - F.A.R. BONUS

CATEGORY	BONUS POINTS
FRONT PORCH #3A:	0.020 F.A.R. BONUS
ROOFS #4:	0.010 F.A.R. BONUS
GARAGES AND DRIVEWAYS #12A:	0.020 F.A.R. BONUS
ARCHITECT AND DESIGN REVIEW #23:	0.010 F.A.R. BONUS
ARCHITECT AND DESIGN REVIEW #24:	0.040 F.A.R. BONUS
TOTAL F.A.R. BONUS:	0.100 F.A.R. BONUS
TOTAL ALLOWABLE F.A.R.:	0.486 TOTAL F.A.R.
(F.A.R. BONUS + BASE ALLOWABLE FAR)	
TOTAL ALLOWABLE AREA:	4,642.6 SF
(F.A.R. BONUS + BASE ALLOWABLE FAR x LOT SF)	



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

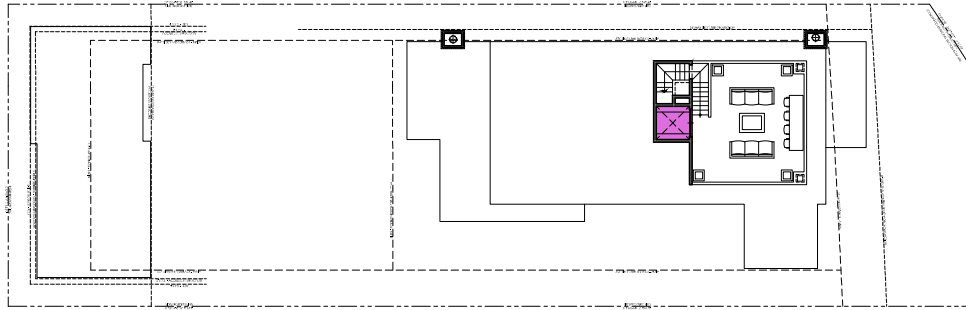
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12.24.24

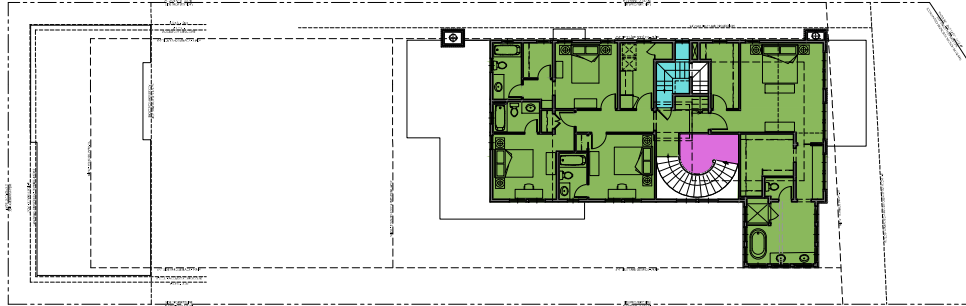
FLOOR AREA
RATIO (F.A.R.)
BONUS
SUMMARY

SCALE: N/A

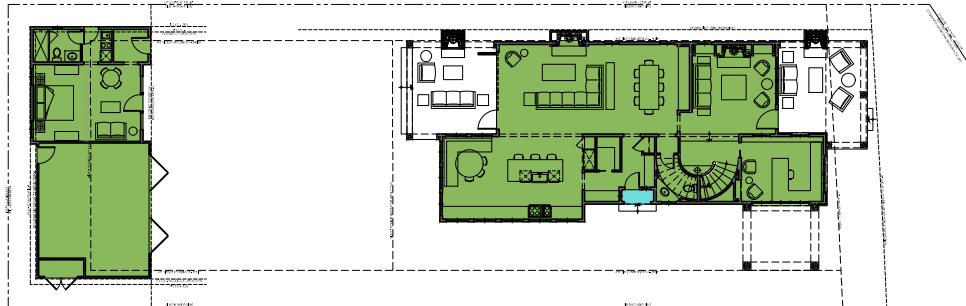
A060



ROOF DECK 3



SECOND FLOOR 2



FIRST FLOOR 1

FLOOR AREA RATIO NOTES

A. SEE SHEET A060, FLOOR AREA RATIO (F.A.R.) BONUS SUMMARY FOR ADDITIONAL INFORMATION

FLOOR AREA RATIO LEGEND

- INTERIOR FLOOR AREA
- INTERIOR FLOOR AREA EQUIVALENT - COVERED PORCH (100%)
- INTERIOR FLOOR AREA EQUIVALENT - PHANTOM FLOOR (50%)



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

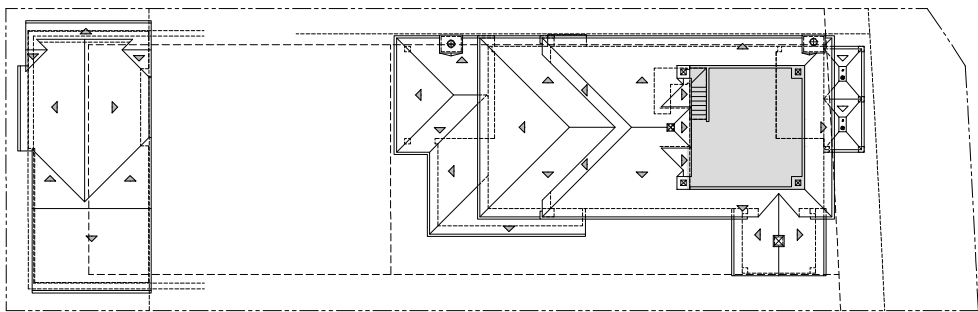
DR2024-24 (700 GLORIETTA)

12.24.24

FLOOR AREA
RATIO (F.A.R.)
DIAGRAMS

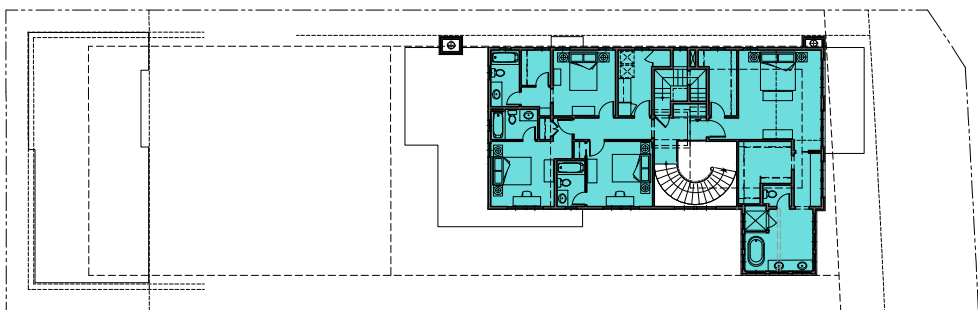
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A061



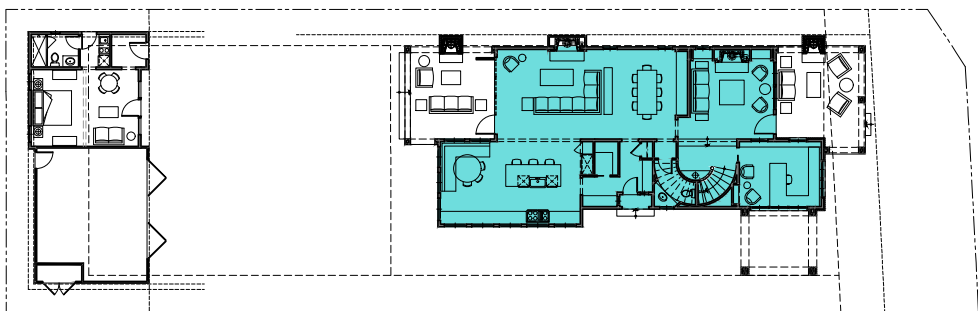
FIRST FLOOR GROSS FLOOR AREA

1



SECOND FLOOR GROSS FLOOR AREA

2



OUTDOOR UNCOVERED ROOF DECK AREA

3

GROSS FLOOR AREA NOTES

A. THE GROSS FLOOR AREA OF THE SECOND FLOOR SHALL NOT EXCEED THE GROSS FLOOR AREA OF THE FIRST FLOOR

GROSS FLOOR AREA LEGEND

INTERIOR GROSS FLOOR AREA

AREA CALCULATIONS

MAIN HOUSE FIRST FLOOR INTERIOR AREA (R3):	1,819.5 SF
MAIN HOUSE FIRST FLOOR "EQUIVALENT AREA" (MUD ENTRY):	15.6 SF
MAIN HOUSE SECOND FLOOR "PHANTOM AREA" (STAIR):	32.0 SF
MAIN HOUSE SECOND FLOOR INTERIOR AREA (R3):	1,714.8 SF
MAIN HOUSE SECOND FLOOR "EQUIVALENT AREA" (ROOF STAIR):	52.9 SF
MAIN HOUSE ROOF DECK "PHANTOM AREA" (DORMER):	24.4 SF
MAIN HOUSE TOTAL INTERIOR AREA (R3):	3,659.2 SF
ACCESSORY DWELLING UNIT INTERIOR AREA (R3):	441.2 SF
TOTAL INTERIOR AREA (R3):	4,100.4 SF
GARAGE, MECH & STORAGE (U):	507.6 SF
TOTAL BUILDING FLOOR AREA (R3 + U):	4,608.0 SF
OUTDOOR COVERED PORCH 1:	286.3 SF
OUTDOOR COVERED PORCH 2:	279.6 SF
OUTDOOR COVERED PORTE COCHERE:	156.7 SF
TOTAL OUTDOOR COVERED PORCH/PORTE COCHERE:	722.6 SF
OUTDOOR UNCOVERED ROOF DECK:	472.3 SF
TOTAL STRUCTURAL COVERAGE:	5,802.9 SF
TOTAL STRUCTURAL COVERAGE PERCENT: (5,802.9 SF / 9,594 SF)	60.5 %

DR2024-24 (700 GLORietta)

12.24.24

GROSS FLOOR AREA DIAGRAMS

SCALE : 3/32" = 1'-0"

A070

JENSEN RESIDENCE

700 GLORietta BOULEVARD
CORONADO, CALIFORNIA



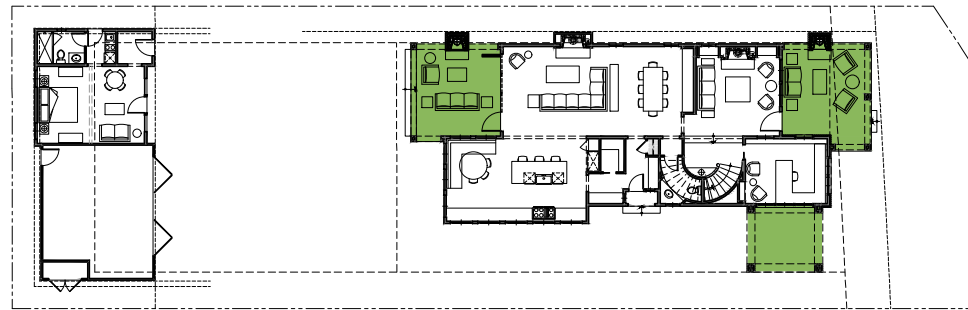
ForestStudio

312 Forest Studio
10000 Forest, CA 92024
619.437.1000
www.foreststudio.com

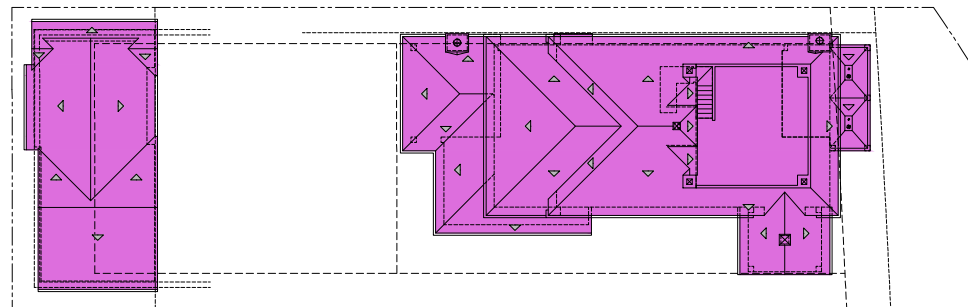


d'Arcy & Associates

11000 d'Arcy Drive, Suite 100
Irvine, CA 92618
949.450.1000
www.darcyandassociates.com



COVERED OUTDOOR AREA NOT INCLUDED IN AREA CALCS



MAXIMUM STRUCTURAL COVERAGE

COVERED OUTDOOR NOTES

A. SEE SHEET AD60, FLOOR AREA RATIO (F.A.R.) BONUS SUMMARY FOR ADDITIONAL INFORMATION

COVERED OUTDOOR LEGEND

 COVERED OUTDOOR AREA
(AREAS NOT INCLUDED AS FLOOR AREA EQUIVALENT)

AREA CALCULATIONS

MAIN HOUSE FIRST FLOOR INTERIOR AREA (R3):	1,819.57 SF
MAIN HOUSE FIRST FLOOR "EQUIVALENT AREA" (MID W/RT)	15.56 SF
MAIN HOUSE SECOND FLOOR "PHANTOM AREA" (STAIR):	320.50 SF
MAIN HOUSE SECOND FLOOR INTERIOR AREA (R3):	1,714.85 SF
MAIN HOUSE SECOND FLOOR "EQUIVALENT AREA" (ROOF STAIR)	52.9 SF
MAIN HOUSE ROOF DECK "PHANTOM AREA" (DORMER):	24.5 SF
TOTAL INTERIOR AREA (R3):	3,659.72 SF
ACCESSORY DWELLING UNIT INTERIOR AREA (R3):	441.25 SF
TOTAL INTERIOR AREA (R3):	4,100.94 SF
GARAGE, W/CH & STORAGE (U):	507.56 SF
TOTAL BUILDING FLOOR AREA (R3 + UCH):	4,608.50 SF
OUTDOOR CO/VERED PORCH: 1:	286.53 SF
OUTDOOR CO/VERED PORCH: 2:	279.6 SF
OUTDOOR CO/VERED PORTE COCHERE:	156.75 SF
TOTAL OUTDOOR COVERED PORCH/PORTE COCHERE	722.6 SF
OUTDOOR UNCOVERED ROOF DECK:	472.53 SF
TOTAL STRUCTURAL COVERAGE:	3,980.7 SF
TOTAL STRUCTURAL COVERAGE PERCENT: (3980.7 SF / 9594 SF)	41.5%

STRUCT. COVERAGE NOTES

A. 50% OF GROSS LOT AREA ALLOWABLE

STRUCT. COVERAGE LEGEND

 AREA OF STRUCTURAL SITE COVERAGE

STRUCT. COVERAGE LEGEND

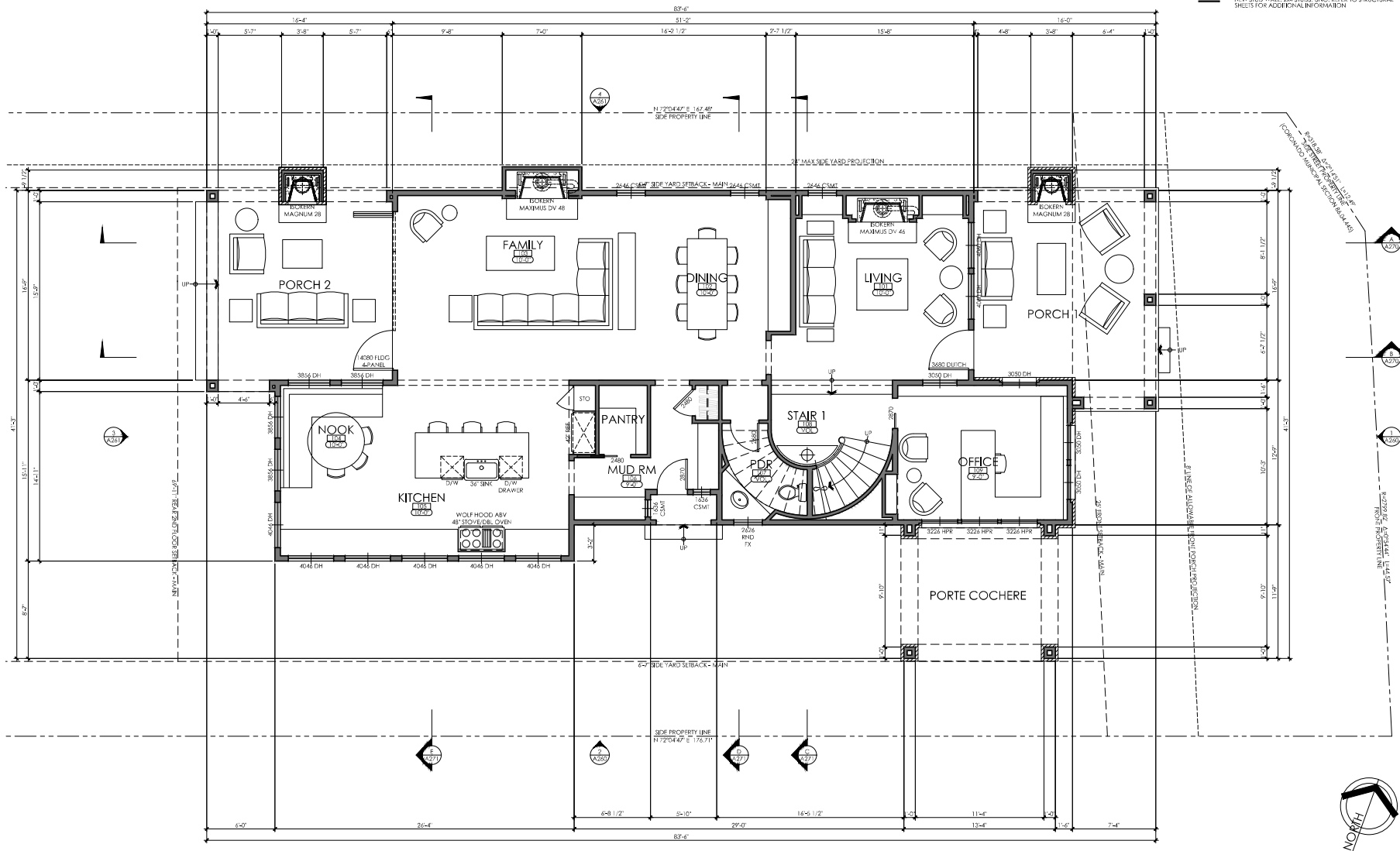
TOTAL LOT AREA:	9594 SF
TOTAL STRUCTURAL COVERAGE:	3980.7 SF
TOTAL STRUCTURAL COVERAGE PERCENT: (3980.7 SF / 9594 SF)	41.5 %

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD. UNO.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS UNO.
- UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE STUDDED WITH GLAZING 1" TOTAL OR DOORS ARE TO BE CENTERED IN SPACE.

FLOOR PLAN WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW STUD WALL, 24 STUDS, UNO. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA



ForestStudio

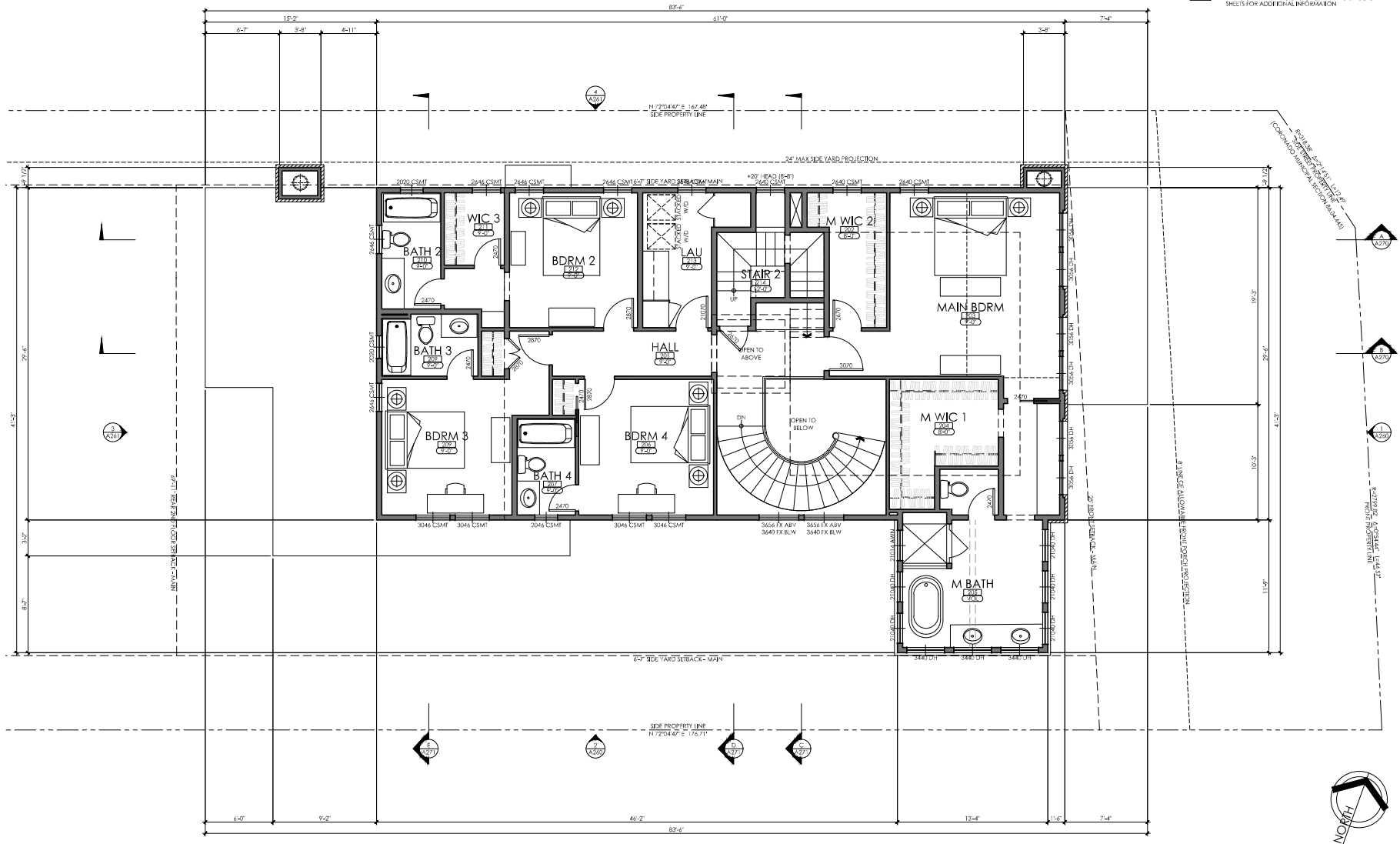
312 Forest Avenue
Suite 1
La Jolla, CA 92037
(619) 437-1397
www.jandaa.com

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD. UNO.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS UNO.
- UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE STUDDED WITH CABBING 1" TOTAL OR DOORS ARE TO BE CENTERED IN SPACE.

FLOOR PLAN WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW STUD WALL, 24 STUDS, UNO. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24
REFERENCE
SECOND FLOOR
PLAN

SCALE: 1/4" = 1'-0"

A220

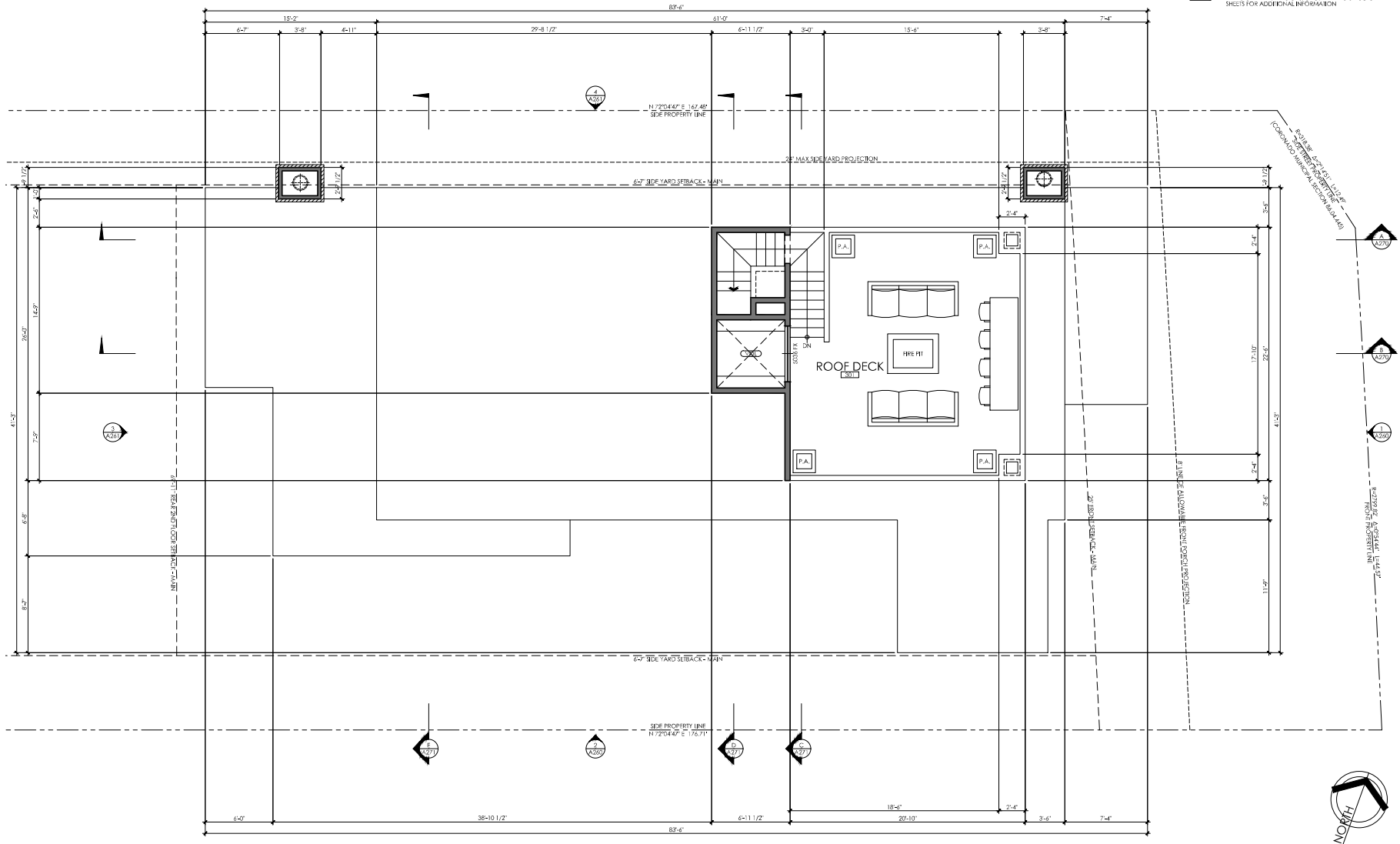


FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD. UNO.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS UNO.
- UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE SLIDED WITH GLAZING 4" TOTAL OR DOORS ARE TO BE CENTRED IN SPACE.

FLOOR PLAN WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW STUD WALL, 24 STUDS, UNO. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION



JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24
REFERENCE
ROOF DECK
PLAN

SCALE: 1/4" = 1'-0"

A230

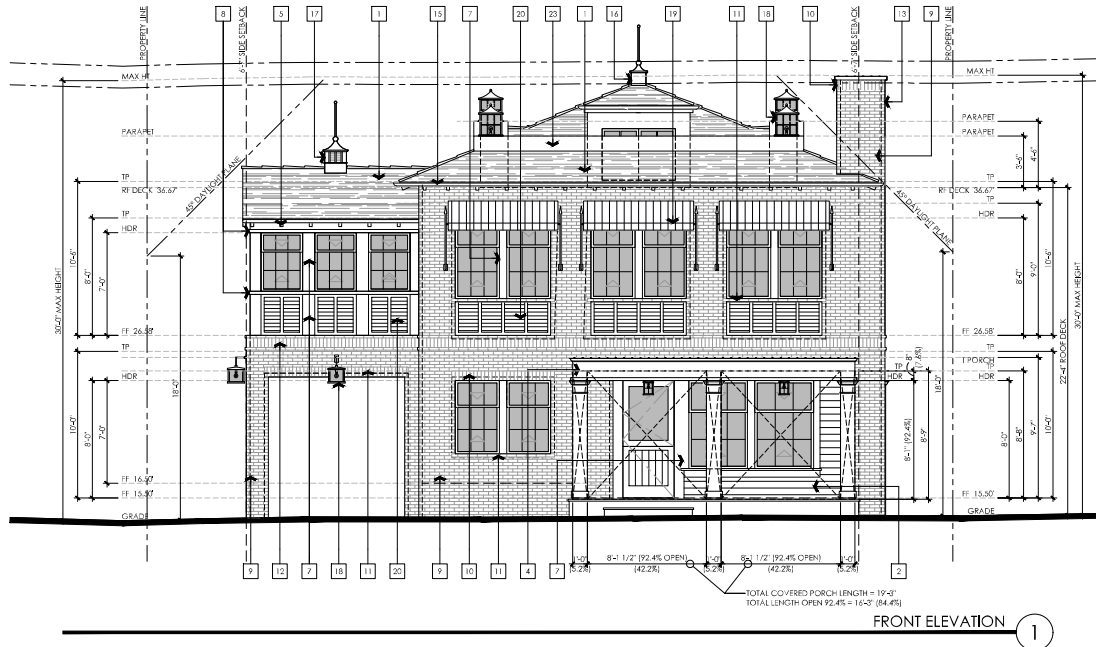


XX	SYMBOL
1	CEDAR SHINGLE ROOFING (CLASS "A" BY-ASSEMBLY)
2	BULKHEAD ROOFING SYSTEM WITH PEA GRAVEL INSTALLED PER MANUFACTURERS SPECS
3	WATERPROOF DECKING WITH ELASTOMERIC BASE INSTALLED PER MANUFACTURERS SPECS
4	FLARE-CLIMBNEY CAP
5	"S" HALF ROUND COPPER ROOF GUTTER WITH 3" ROUND INTERED DOWNSPOUTS W/ CEDAR BLOCK STANDOFFS, AS REQD
6	ROOF DRAIN WITH SEPARATELY PIPED OVERFLOW DRAIN WITH INLET 2" ABOVE MAIN DRAIN
7	PREFABRICATED COPPER FINIAL AS SELECTED
8	PREFABRICATED COPPER CUPOLA WITH FINIAL AS SELECTED
9	PREFABRICATED COPPER GAS LAMP BY BEVELO, AS SELECTED

- A. REFER TO STRUCTURAL DRAWINGS FOR ROOF SHEATHING SPECIFICATIONS.
- B. WHERE NOTED, ROOF TO BE UNVENTED ATTIC ASSEMBLY AND SHALL COMPLY WITH IRC 1202.3.5 (IRC R806.5)
- C. PROVIDE 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND WHERE ROOF PITCH CHANGES.
- D. THE CENTER LINE OF ALL FLASHINGS FOR VENT PIPES SHALL BE NOT LESS THAN 12" FROM ANY VALLEY.
- E. ALL ROOF PENETRATIONS SHALL BE INSTALLED AS TO MAKE THEM WATERPROOF.
- F. GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED.
- G. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.
- H. NO PLUMBING VENTS OR SIMILAR ROOF PENETRATIONS ARE TO BE LOCATED FACING THE COURTYARDS.

ALL SINGLE-FAMILY RESIDENTIAL BUILDINGS SHALL HAVE A NEWLY INSTALLED PHOTOVOLTAIC (PV) SYSTEM OR NEWLY INSTALLED PV MODULES MEETING THE MINIMUM QUALIFICATION REQUIREMENTS SPECIFIED IN JOINT APPENDIX JA 11. THE ANNUAL ELECTRICAL OUTPUT OF THE PV SYSTEM SHALL BE NO LESS THAN THE SMALLER OF A PV SYSTEM SIZE DETERMINED USING EQUATION 150.1-C, OR THE MAXIMUM PV SYSTEM SIZE THAT CAN BE INSTALLED ON THE BUILDING'S SOLAR ACCESS ROOF AREA (SARA). [CFC 150.1-C]





EXTERIOR ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- C. REFER TO CIVIL AND LANDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- D. WINDOW HEADER HEIGHT:
ROOF DECK LEVEL = 4'-0" ABOVE FINISHED DECK, U.N.O.
SECOND FLOOR = 7'-0" ABOVE FINISHED FLOOR, U.N.O.
FIRST FLOOR = 8'-0" ABOVE FINISHED FLOOR, U.N.O.
GARAGE/ADU = 7'-0" ABOVE FINISHED FLOOR, U.N.O.
- E. HEIGHT CERTIFICATION IS REQUIRED.
- F. DOORS AND WINDOWS SHALL BE WOOD FRAMES & PAINTED DUNNEDWARDS WHISPER WHITE, DEW340.

EXT. ELEVATION KEYNOTES

- | XX | SYMBOL |
|----|---|
| 1 | LIGHTWEIGHT CONCRETE WOOD LOOK FLAT TILE, BORAL |
| 2 | CEDARITE 600, SILVERWOOD FINISH |
| 3 | 1/4" HORIZONTAL LAP SIDING, PAINTED WHISPER WHITE (D.E. DEW340) |
| 4 | 1/4" VERTICAL T&G SIDING, PAINTED WHISPER WHITE (D.E. DEW340) |
| 5 | 1x4 WOOD PANEL SIDING, PAINTED WHISPER WHITE (D.E. DEW340) |
| 6 | 4x6 SHAPED WOOD RAFTER TAIL, 180° O.C., U.N.O. |
| 7 | 4x6 SHAPED WOOD CORNICE, PAINTED WHISPER WHITE (D.E. DEW340) |
| 8 | 2x4 WOOD TRIM/CAP, PAINTED WHISPER WHITE (D.E. DEW340) |
| 9 | 3x4 WOOD TRIM/CAP, PAINTED WHISPER WHITE (D.E. DEW340) |
| 10 | ADHERED BRICK VENEER OVER EXTERIOR CEMENT PLASTER, TUMBLED BRICK, OVERGROUTED AND PAINTED WHISPER WHITE (D.E. DEW340) |
| 11 | ADHERED BRICK SOLDIER COURSE/HEAD TRIM, PAINTED WHISPER WHITE (D.E. DEW340) |
| 12 | ADHERED BRICK ROW/LOCK COURSE/SILL TRIM, PAINTED WHISPER WHITE (D.E. DEW340) |
| 13 | ADHERED BRICK TRIM BAND, STRETCHER COURSE ABOVE SAWTOOTH COURSE ABOVE STRETCHER COURSE, PAINTED WHISPER WHITE (D.E. DEW340) |
| 14 | REPLACE CHIMNEY SHROULD WITH ADHERED BRICK VENEER FINISH, PAINTED WHISPER WHITE (D.E. DEW340) |
| 15 | DIRECT VENT, PREPLACE TERMINATION/VENT OUTLET |
| 16 | 5' HALF ROUND COPPER ROOF GUTTER WITH 3" ROUND |
| 17 | METERED DOWNSPOUTS W/ CEDAR BLOCK STANDOFFS, AS REQ'D |
| 18 | PREFABRICATED COPPER FINISH, NATURAL COPPER FINISH |
| 19 | PREFAB, COPPER CUPOLA WITH FINISH, NATURAL COPPER FINISH |
| 20 | PREFAB, COPPER GAS LAMP BY BEVOLD, NATURAL COPPER FINISH |
| 21 | CANVAS CANOPY OVER BLACK WROUGHT IRON FRAME WITH DECORATIVE WROUGHT IRON SPEARS |
| 22 | DECORATIVE LOUVERED WOOD PANEL, PAINTED WHISPER WHITE (D.E. DEW340) |
| 23 | DECORATIVE LOUVERED WOOD SHUTTER, PAINTED WHISPER WHITE (D.E. DEW340) |
| 24 | DECORATIVE LOUVERED WOOD GABLE END FALSE VENT, PAINTED WHISPER WHITE (D.E. DEW340) |
| 25 | EXTERIOR CEMENT PLASTER, SMOOTH FINISH, PAINTED WHISPER WHITE (D.E. DEW340) |



JENSEN RESIDENCE
 700 GLORIETTA BOULEVARD
 CORONADO, CALIFORNIA

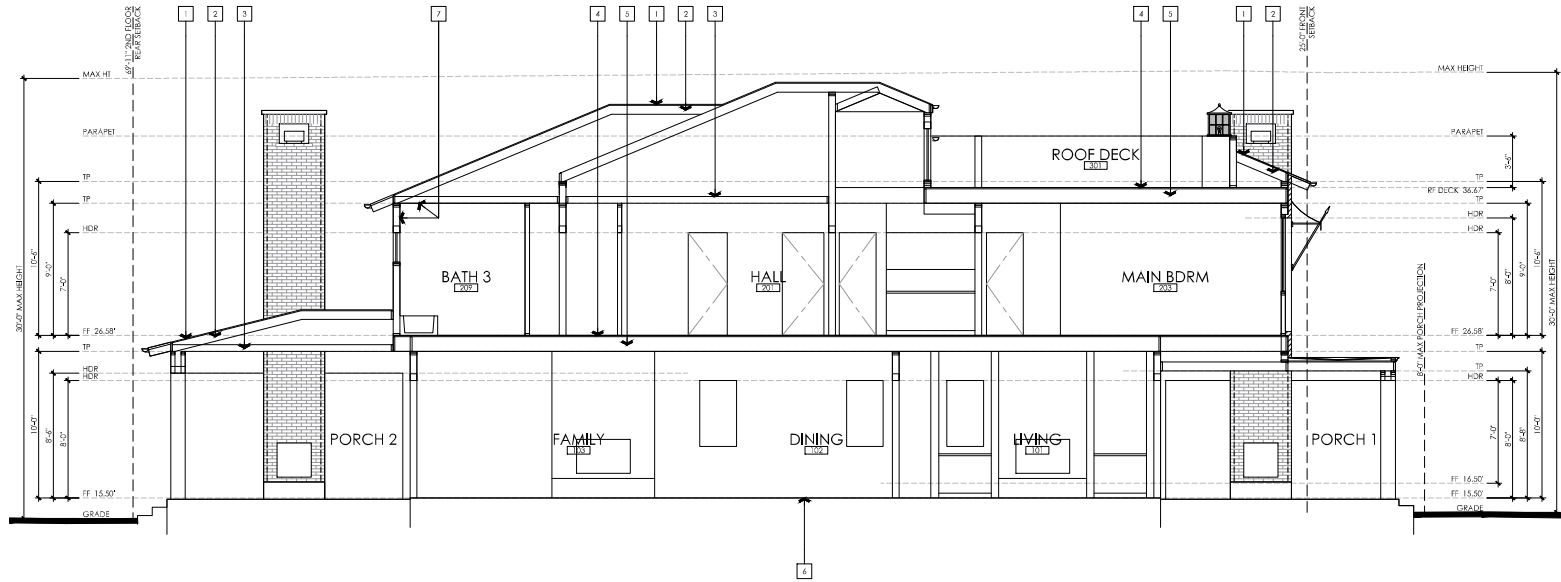
DR2024-24 (700 GLORIETTA)

12.24.24

EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

A260



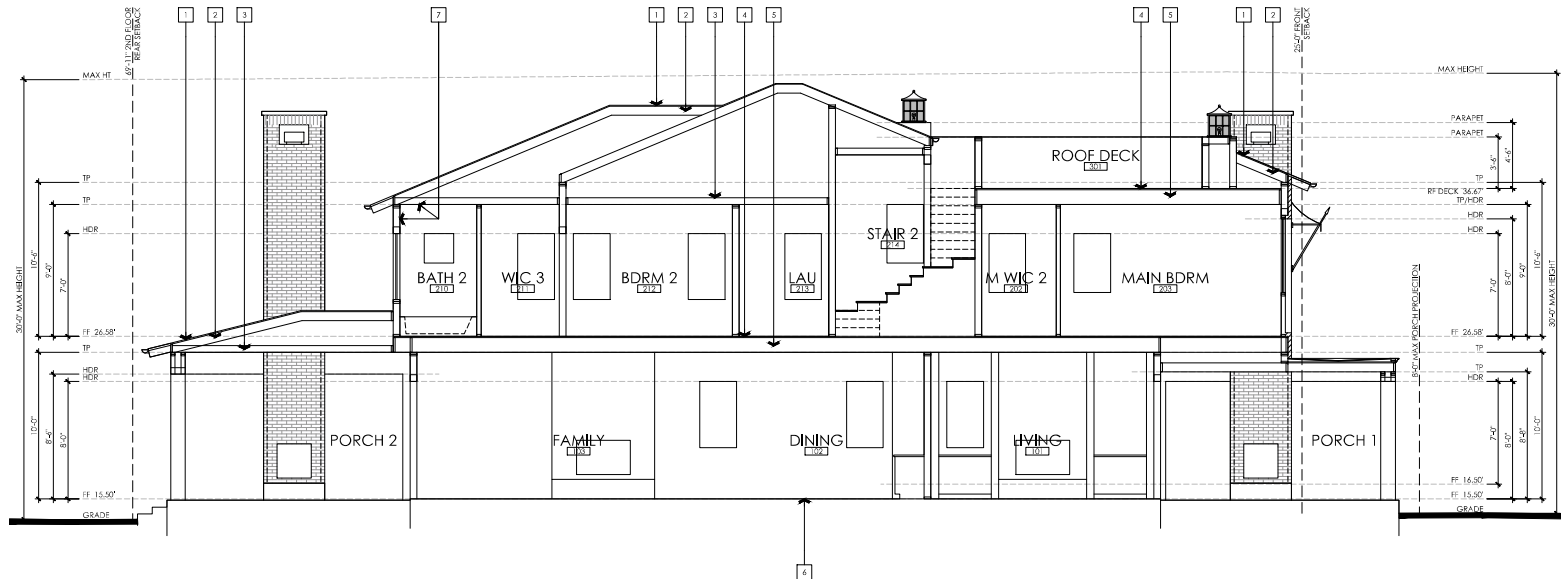
BUILDING SECTION NOTES

- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- PROVIDE FIREBLOCKING AND DRAFT STOPS AT TURNED SPACES PER CODE.
- INSULATION REQUIREMENTS PER 1-24 ENERGY REPORT:
R-13 INSULATION IN EXTERIOR WALLS TYP.
R-30 INSULATION IN RAISED WOOD FLOOR SPACE TYP.
R-30 INSULATION IN CEILING SPACE TYP.
R-40 HIGH DENSITY 7.5" THICK "ROXUL" COMFORTBATT INSULATION AS NEEDED.)

BLDG SECTION KEYNOTES

- | SYMBOL | DESCRIPTION |
|--------|---|
| 1 | ROOF SHEATHING - REFER TO FRAMING PLANS |
| 2 | ROOF RATTERS - REFER TO FRAMING PLANS |
| 3 | CEILING JOISTS - REFER TO FRAMING PLANS |
| 4 | FLOOR/DECK SHEATHING - REFER TO FRAMING PLANS |
| 5 | FLOOR/DECK JOISTS - REFER TO FRAMING PLANS |
| 6 | SLAB ON GRADE - REFER TO FOUNDATION PLAN |
| 7 | INTERIOR FINISH: |
- INTERIOR WALLS SHALL BE COVERED WITH ONE LAYER 1/2" THICK MIN. GYPSUM WALLBOARD, SCREWED DIRECTLY TO STUDS AND JOISTS, WITH ALL BEAMS TAPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND, PER MANUFACTURER'S SPECIFICATIONS. GARAGE AND MECHANICAL ROOMS' FLOORS TO BE FINISHED CONCRETE, OCCUPANCY SEPARATION:
MINIMUM 1/2" GYP. BOARD AT ALL GARAGE WALLS & CEILINGS.
MINIMUM 5/8" TYPE 'X' GYP. BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER IRC R302.6.
DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER IRC R302.5.2.

SECTION B



SECTION A

JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

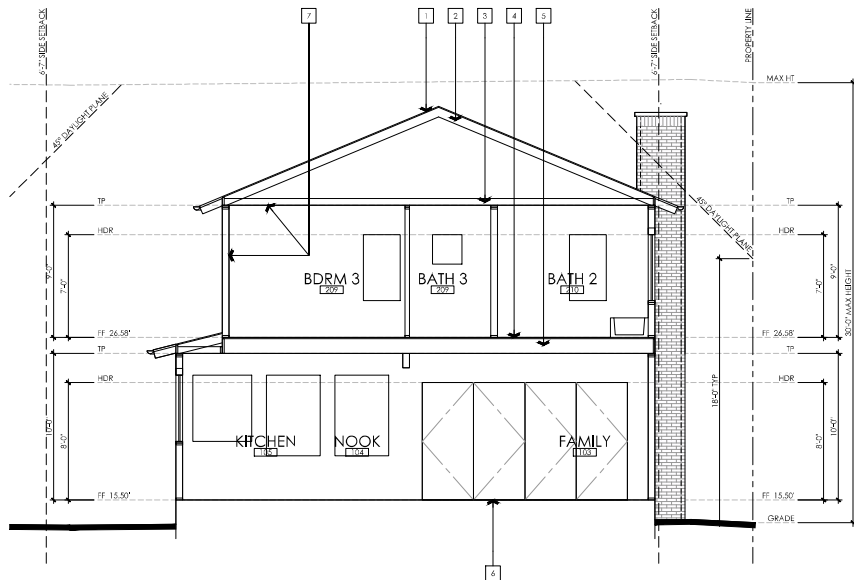
BUILDING
SECTIONS

SCALE: 1/4" = 1'-0"

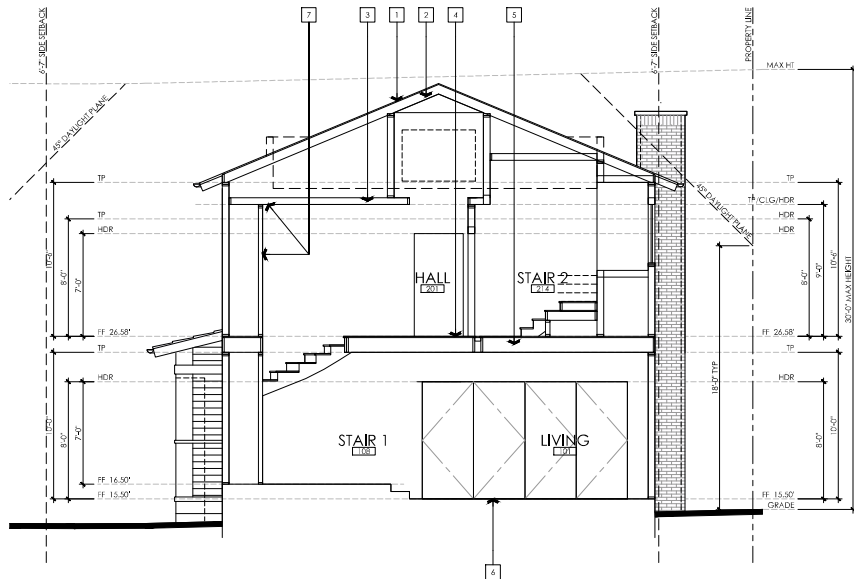
A270

12.24.24

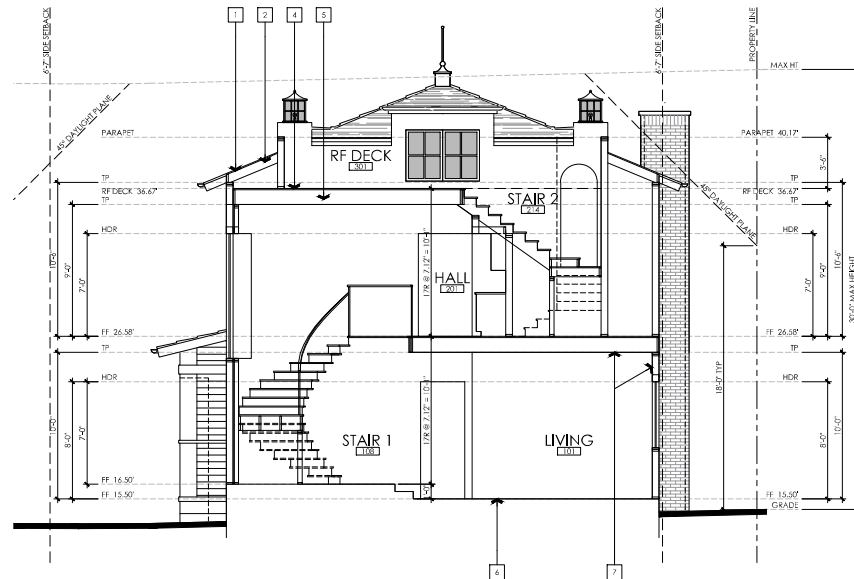




SECTION E



SECTION D



SECTION C

BUILDING SECTION NOTES

- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- REFER TO CIVIL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- THE FOUNDATION AND FRAMING ELEMENTS SHOWN ARE FOR REFERENCE ONLY. REFER TO THE STRUCTURAL PLANS, DETAILS AND CALCULATIONS FOR ALL STRUCTURAL INFORMATION.
- PROVIDE FIREBLOCKING AND DRAFT STOPS AT TURNED SPACES PER CODE.
- INSULATION REQUIREMENTS PER I-24 ENERGY REPORT:
R-13 INSULATION IN EXTERIOR WALLS TYP.
R-19 INSULATION IN RAISED WOOD FLOOR SPACE TYP.
R-30 INSULATION IN CEILING SPACE TYP.
R-50 HIGH DENSITY 7.25" THICK "ROXUL" COMFORTBATT INSULATION AS NEEDED.)

BLDG SECTION KEYNOTES

- | NO. | SYMBOL |
|-----|--|
| 1 | ROOF SHEATHING - REFER TO FRAMING PLANS |
| 2 | ROOF RATTERS - REFER TO FRAMING PLANS |
| 3 | CEILING JOISTS - REFER TO FRAMING PLANS |
| 4 | FLOOR/DECK SHEATHING - REFER TO FRAMING PLANS |
| 5 | FLOOR/DECK JOISTS - REFER TO FRAMING PLANS |
| 6 | SLAB ON GRADE - REFER TO FOUNDATION PLAN |
| 7 | INTERIOR FINISH: |
| | INTERIOR WALLS SHALL BE COVERED WITH ONE LAYER 1/2" THICK MIN. GYPSUM WALLBOARD, SCREWED DIRECTLY TO STUDS AND JOISTS, WITH ALL BEAMS TAPPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND, PER MANUF. SPEC'S, UNLESS NOTED OTHERWISE. PROVIDE WATER-RESISTANT GYPSUM WALLBOARD AT ALL BATH AND KITCHEN AREAS. |
| | INTERIOR FLOORS SHALL BE FINISHED WITH WOOD, OR THINSET TILE IN WET AREAS, PER INTERIOR DESIGNER SPECIFICATIONS. GARAGE AND MECHANICAL ROOMS FLOORS TO BE FINISHED CONCRETE. |
| 8 | OCCUPANCY SEPARATION: |
| | MINIMUM 1/2" GYP. BOARD AT ALL GARAGE WALLS & CEILINGS. |
| | MINIMUM 5/8" TYPE "X" GYP. BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER IRC R302.6. |
| | DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER IRC R302.5.2. |

JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

BUILDING
SECTIONS

SCALE: 1/4" = 1'-0"

A271

12.24.24



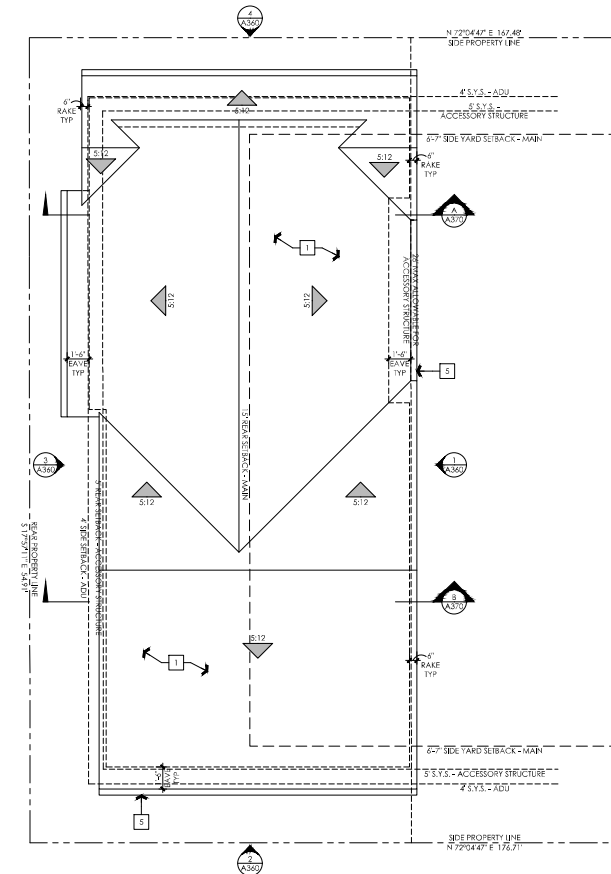
ROOF KEYNOTES

KEY SYMBOL

- 1 CEDAR SHINGLE ROOFING (CLASS "A" SH-ASSEMBLY)
- 2 BUILD-UP ROOFING SYSTEM WITH FEA GRAVEL INSTALLED PER MANUFACTURERS SPECS
- 3 WATERPROOF DECKING WITH ELASTOMERIC BASE INSTALLED PER MANUFACTURERS SPECS
- 4 REPLACE CHIMNEY CAP
- 5 3" HALF ROUND COPPER ROOF GUTTER WITH 3" ROUND MIRRORED DOWNSPOUTS W/ CEDAR BLOCK STANDOFFS, AS REQ'D
- 6 ROOF DRAIN WITH SEPARATELY PIPED OVERFLOW DRAIN WITH INLET 2" ABOVE MAIN DRAIN
- 7 PREFABRICATED COPPER FINIAL AS SELECTED
- 8 PREFABRICATED COPPER CUPOLA WITH FINIAL AS SELECTED
- 9 PREFABRICATED COPPER GAS LAMP BY REVOLVO, AS SELECTED

ROOF NOTES

- A. REFER TO STRUCTURAL DRAWINGS FOR ROOF SHEATHING SPECIFICATIONS.
- B. WHERE NOTED, RO-OF TO BE UNVENTED ATIC ASSEMBLY AND SHALL COMPLY WITH CSC 1202.3 (CR-880.5).
- C. PROVIDE 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND WHERE ROOF PITCH CHANGES.
- D. THE CENTER LINE OF ALL FLASHING FOR VENT PIPES SHALL BE NOT LESS THAN 1/2" FROM ANY VALLEY.
- E. ALL ROOF PENETRATIONS SHALL BE INSTALLED AS TO MAKE THEM WATERPROOF.
- F. GUTTERS AND DOWNSPOUTS SHALL BE PROVIDED AS REQUIRED.
- G. NO MECHANICAL EQUIPMENT SHALL BE LOCATED ON ROOF.
- H. NO PLUMBING VENTS OR SIMILAR ROOF PENETRATIONS ARE TO BE LOCATED FACING THE COURTYARDS.



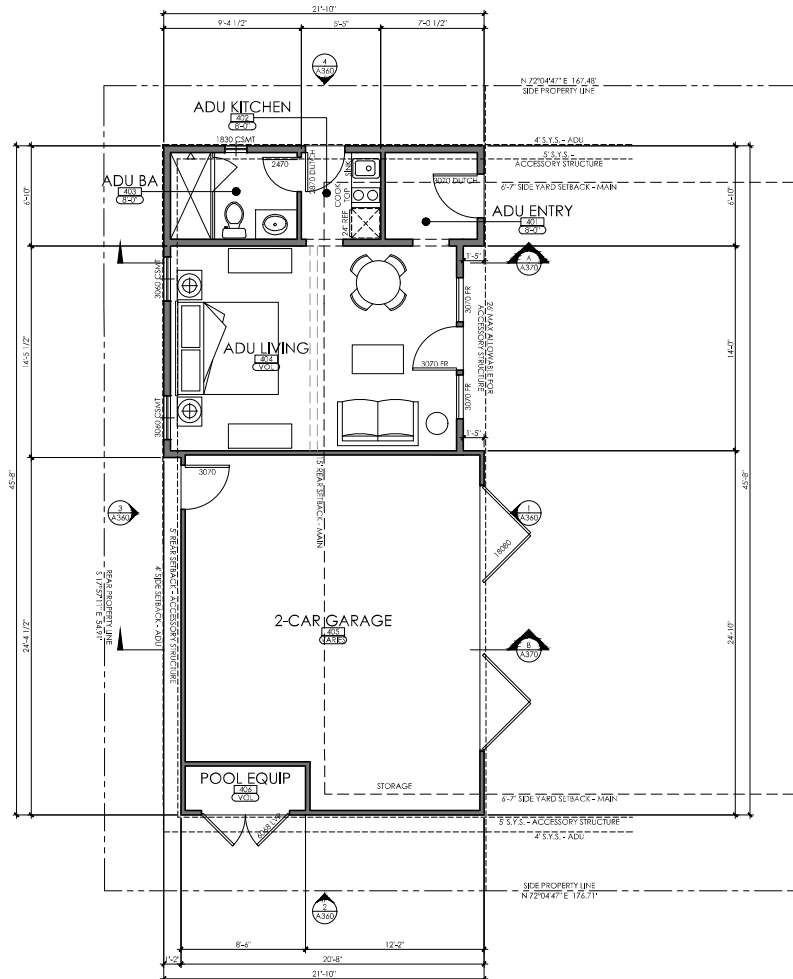
ROOF PLAN 2

FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO THE FACE OF STUD. UNO.
- B. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE.
- C. VERIFY ALL EXISTING FIELD CONDITIONS / DIMENSIONS PRIOR TO CONSTRUCTION.
- D. ALL EQUIPMENT, APPLIANCES AND FIXTURES AS SELECTED BY OWNER AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- E. INTERIOR WALL FINISH TO BE 1/2" GYPSUM BOARD AT WALL AND 5/8" AT CEILINGS UNO.
- F. UNLESS NOTED OTHERWISE, DOORS ARE TO BE DOUBLE STUDDED WITH CASING 4" TOTAL OR DOORS ARE TO BE CENTERED IN SPACE.

FLOOR PLAN WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW STUD WALL, 2x4 STUDS, UNO. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION



FLOOR PLAN 1

JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

GARAGE AND A.D.U.
FLOOR AND
ROOF PLANS

SCALE: 1/4" = 1'-0"

A310

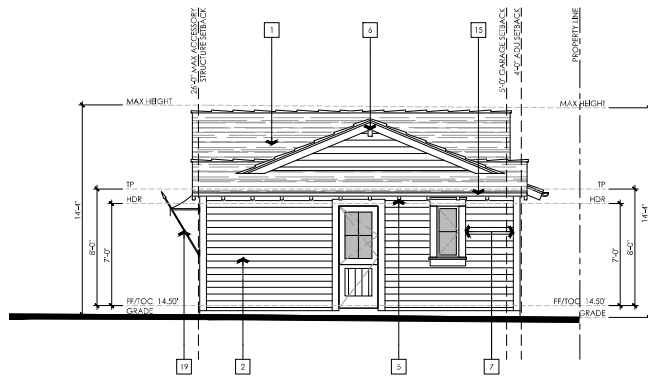


EXT. ELEVATION KEYNOTES

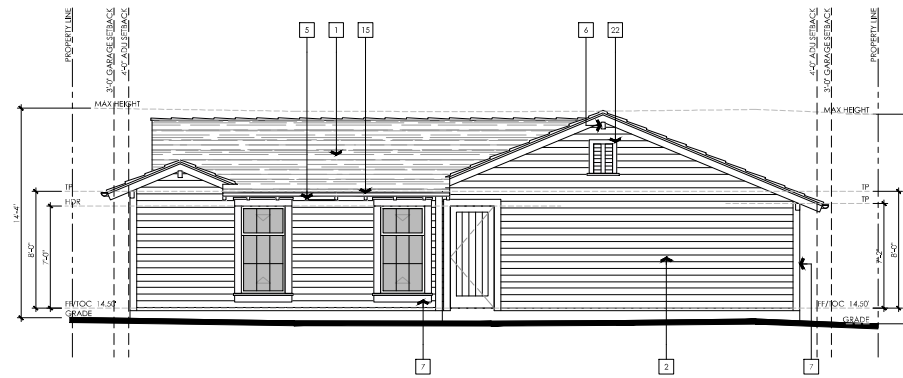
- SYMBOL**
- 1 LIGHTWEIGHT CONCRETE WOOD LOOK FLAT TILE, BORAL CEDARITE 600, SILVERWOOD FINISH
 - 2 1x6 HORIZONTAL LAP SIDING, PAINTED WHISPER WHITE (D.E. DEV340)
 - 3 1x4 VERTICAL TAG SIDING, PAINTED WHISPER WHITE (D.E. DEV340)
 - 4 1x4 WOOD PANEL SIDING, PAINTED WHISPER WHITE (D.E. DEV340)
 - 5 4x6 SHAPED WOOD RAFTER 14' @ 24" O.C., UNO
 - 6 4x6 SHAPED WOOD CORBEL, PAINTED WHISPER WHITE (D.E. DEV340)
 - 7 2x4 WOOD TRIM/CAP, PAINTED WHISPER WHITE (D.E. DEV340)
 - 8 3x4 WOOD TRIM/CAP, PAINTED WHISPER WHITE (D.E. DEV340)
 - 9 ADHERED BRICK VENER, OVER EXTERIOR CEMENT PLASTER, TUMBLED BRICK, OVERGROUTED AND PAINTED WHISPER WHITE (D.E. DEV340)
 - 10 ADHERED BRICK SOLDIER COURSE/HEAD TRIM, PAINTED WHISPER WHITE (D.E. DEV340)
 - 11 ADHERED BRICK ROWLOCK COURSE/SILL TRIM, PAINTED WHISPER WHITE (D.E. DEV340)
 - 12 ADHERED BRICK TRIM BAND, STRETCHER COURSE ABOVE SAWTOOTH COURSE ABOVE STRETCHER COURSE, PAINTED WHISPER WHITE (D.E. DEV340)
 - 13 FIREPLACE CHIMNEY SHROUD WITH ADHERED BRICK VENER FINISH, PAINTED WHISPER WHITE (D.E. DEV340)
 - 14 DIRECT VENT FIREPLACE TERMINATION/VENT OUTLET
 - 15 3" HALF ROUND COPPER ROOF GUTTER WITH 3" ROUND MITERED DOWNSPOUTS W/ CEDAR BLOCK STANDOFFS, AS REQ'D
 - 16 PREFABRICATED COPPER FINIAL, NATURAL COPPER FINISH
 - 17 PREFAB. COPPER CLIP ON WITH FINIAL, NATURAL COPPER FINISH
 - 18 PREFAB. COPPER GAS LAMP BY BEVLOLO, NATURAL COPPER FINISH
 - 19 CANVAS CANOPY OVER BLACK WROUGHT IRON FRAME WITH DECORATIVE WROUGHT IRON SPEARS
 - 20 DECORATIVE LOUVERED WOOD PANELS, PAINTED WHISPER WHITE (D.E. DEV340)
 - 21 DECORATIVE LOUVERED WOOD SHUTTER, PAINTED WHISPER WHITE (D.E. DEV340)
 - 22 DECORATIVE LOUVERED WOOD GABLE END FALSE VENT, PAINTED WHISPER WHITE (D.E. DEV340)
 - 23 EXTERIOR CEMENT PLASTER, SMOOTH FINISH, PAINTED WHISPER WHITE (D.E. DEV340)

EXTERIOR ELEVATION NOTES

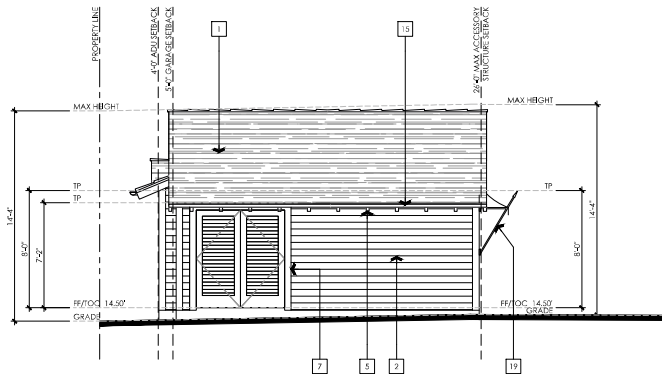
- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
- REFER TO CUL AND HARDSCAPE PLANS FOR FINISH GRADE ELEV. AND STEP LOCATIONS.
- WINDOW/HEADER HEIGHT:
ROOF DECK LEVEL = 4'-0" ABOVE FINISHED DECK, U.N.O.
SECOND FLOOR = 7'-0" ABOVE FINISHED FLOOR, U.N.O.
FIRST FLOOR = 8'-0" ABOVE FINISHED FLOOR, U.N.O.
GARAGE/ADU = 7'-0" ABOVE FINISHED FLOOR, U.N.O.
- HEIGHT CERTIFICATION IS REQUIRED.
- DOORS AND WINDOWS SHALL BE WOOD FRAMES & PAINTED DUNHEDWARDS WHISPER WHITE, DEV340



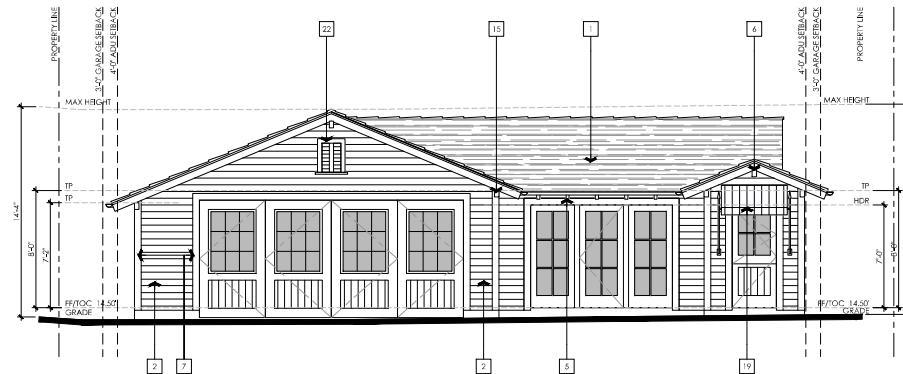
RIGHT SIDE ELEVATION 4



REAR ELEVATION 3



LEFT SIDE ELEVATION 2



FRONT ELEVATION 1

JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

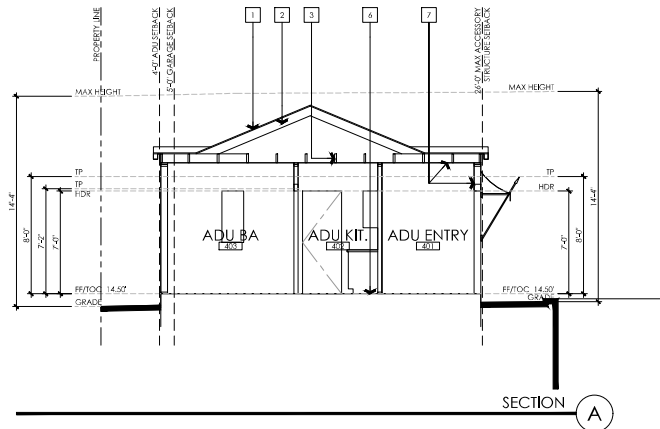
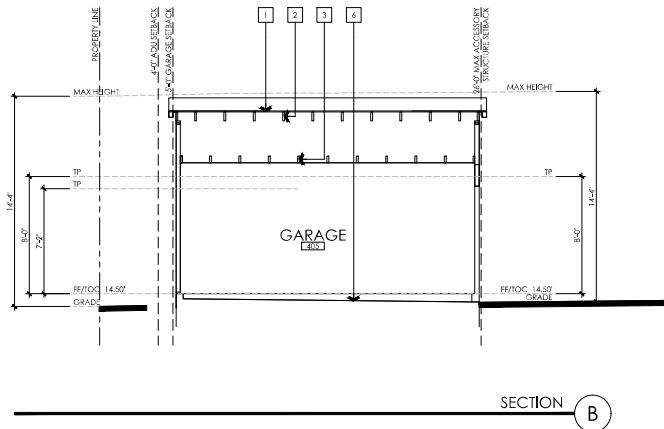
DR2024-24 (700 GLORIETTA)

12.24.24
GARAGE
AND ADU
EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

A360





BUILDING SECTION NOTES

- REFER TO GENERAL NOTES SHEETS FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR (TOP OF SHEATHING) U.N.O.
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- PROVIDE FREEBLOCKING AND DRAFT STOPS AT TURNED SPACES PER CODE.
- INSULATION REQUIREMENTS PER 2024 ENERGY REPORT:
R-13 INSULATION IN EXTERIOR WALLS TYP.
R-19 INSULATION IN BASED WOOD FLOOR SPACE TYP.
R-30 INSULATION IN CEILING SPACE TYP.
R-40 HIGH DENSITY 7.5" THICK "ROXUL" COMFORTBATT INSULATION AS NEEDED.

BLDG SECTION KEYNOTES

- | SYMBOL | DESCRIPTION |
|--------|---|
| 1 | ROOF SHEATHING - REFER TO FRAMING PLANS |
| 2 | ROOF RATTERS - REFER TO FRAMING PLANS |
| 3 | CEILING JOISTS - REFER TO FRAMING PLANS |
| 4 | FLOOR/DECK SHEATHING - REFER TO FRAMING PLANS |
| 5 | FLOOR/DECK JOISTS - REFER TO FRAMING PLANS |
| 6 | SLAB ON GRADE - REFER TO FOUNDATION PLAN |
| 7 | INTERIOR FINISH:
INTERIOR WALLS SHALL BE COVERED WITH ONE LAYER 1/2" THICK MIN. GYPSUM WALLBOARD, SCREWED DIRECTLY TO STUDS AND JOISTS, WITH ALL SEAMS TAPED AND FILLED FLUSH WITH APPROVED JOINT COMPOUND, PER MANUFACTURER'S SPECIFICATIONS. GARAGE AND MECHANICAL ROOMS FLOORS TO BE FINISHED CONCRETE.
INTERIOR FLOORS SHALL BE FINISHED WITH WOOD, OR TRIM-TILE IN WET AREAS, PER INTERIOR DESIGNER SPECIFICATIONS.
OCCUPANCY SEPARATION:
MINIMUM 1/2" GYP. BOARD AT ALL GARAGE WALLS & CEILINGS.
MINIMUM 5/8" TYPE 'X' GYP. BOARD AT GARAGE CEILINGS BELOW HABITABLE SPACE PER IRC R302.6.
DUCTS PENETRATING WALL OR CEILING SEPARATIONS SHALL BE CONSTRUCTED OF MINIMUM 26 GAUGE SHEET METAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE, PER IRC R302.5.2. |

JENSEN RESIDENCE

700 GLORIETTA BOULEVARD
CORONADO, CALIFORNIA

DR2024-24 (700 GLORIETTA)

12.24.24

GARAGE
AND ADU
BUILDING
SECTIONS

SCALE: 1/4" = 1'-0"

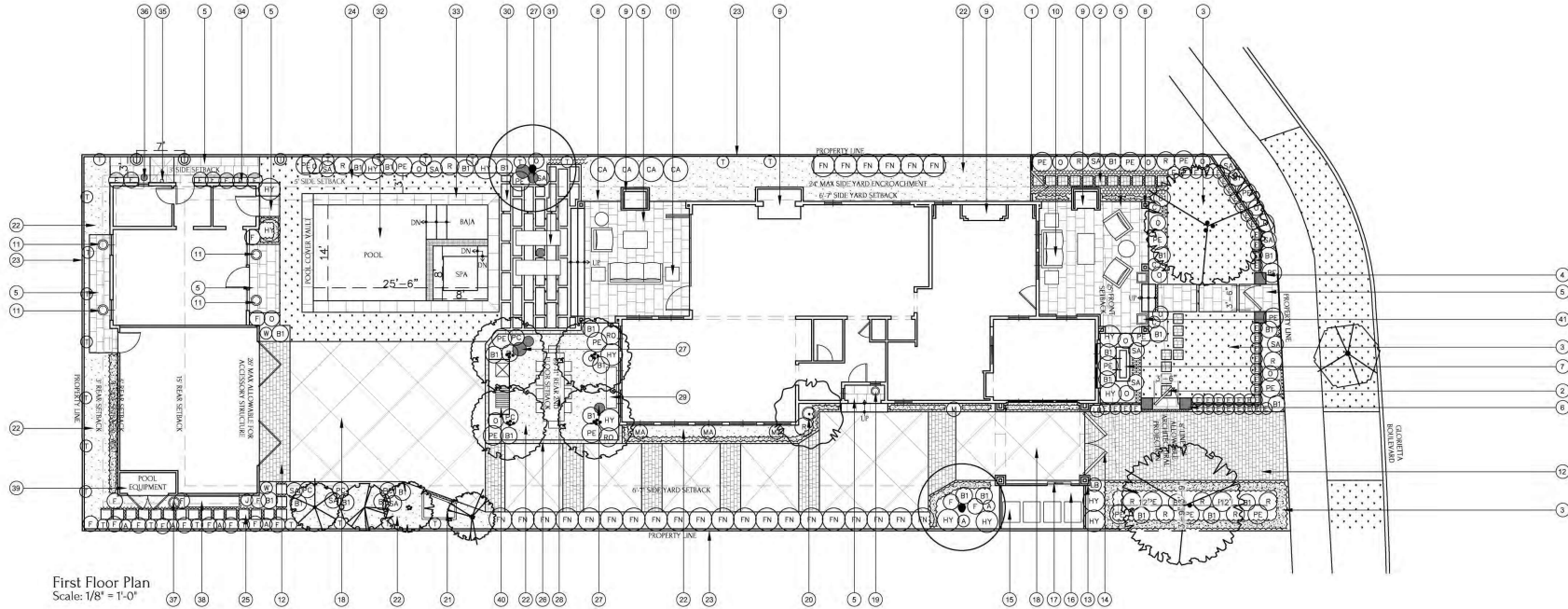
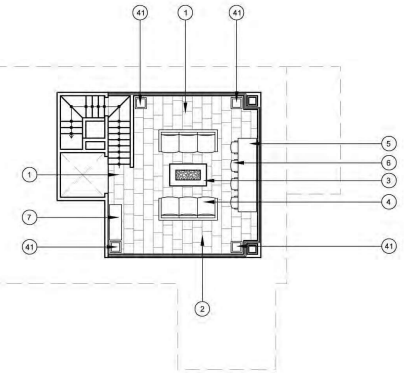
A370



Construction Notes:

1. Contractor shall assess the proposed property noting the existing conditions and proposed work as indicated on the plans, including, not limited to the topography.
2. Contractor to verify all grades, elevations and measurements in the field prior to construction, including but not limited to: number of steps, riser heights, retaining wall locations and retaining wall heights. Any discrepancies are to be reviewed with the designer.
3. Contractor shall stake all proposed work for approval by the client and designer. Contractor to obtain final set of plans and agrees to install the project per the plans. Any field verification discrepancies shall be communicated to the designer prior to construction.
4. Contractor shall provide samples of all materials noted on the plans and obtain approval from the client prior to purchase.
5. Contractor to protect all existing utilities, hardscape, structures and plant material/trees to remain. Any work done next to existing plant material/trees is to be done by hand to avoid damage to the roots.
6. Contractor to obtain a DIG ALERT identification number prior to excavating.
7. All construction shall follow the State, County and Local Codes, as well as the CAL OSHA safety orders.
8. Contractor must comply with all applicable codes and obtain required permits. Homeowners Association's approval is required if applicable.
9. Contractor agrees to follow B.M.P. (Best Management Practices) when installing the proposed plan.
10. Contractor assumes responsibility for any damage to underground utilities and will repair or replace at the contractor's expense.
11. Contractor to confirm that the client has confirmed any potential easements with their Title Company prior to construction. Any easement information is to be communicated to the designer prior to construction.
12. Contractor to assess the proposed property for proper drainage, verify the locations of new surface drains in concrete prior to sub-base pour, and report any issues to the client and designer.
13. Contractor to specify/provide irrigation conduit sleeves, low voltage and electrical prior to the sub-base pour. All pots shall be supplied with drip irrigation, direct drainage and the option for low voltage lighting.
14. Contractor to determine the optimal soil preparation for the project site in relation to the climate, site conditions and native soil.
15. All work with other trades will be coordinated and managed by the contractor.
16. Installation of concrete driveways shall follow all applicable Standard Codes.
17. Contractor to follow Applicable Codes for the installation of gas lines electrical, drainage and irrigation.
18. Contractor to confirm placement of all concrete score lines with the client prior to installation, including but not limited to those on driveways, patios, pour in place caps and pool coping.
19. All concrete edges shall have a 1/2" trowel edge unless otherwise noted.
20. All stucco edges shall have a 1/2" trowel edge unless otherwise noted.
21. Grout spacing and color to be reviewed with the client and designer prior to install.
22. Contractor to provide a sample of any proposed cement slurries or over-grouts to the client and designer prior to install.
23. All Structural Engineering to be Completed by the Contractor for Items Including but not limited to: Grading, Retaining Walls, Pools/Spas, Water Features, Patio Cover Structures, etc.

Third Floor Plan
Scale: 1/8" = 1'-0"



First Floor Plan
Scale: 1/8" = 1'-0"

JENSEN RESIDENCE
700 GLORIETTA BLVD,
CORONADO, CA 92118

CHelsea CORINNE
STUDIO

ADDRESS: 120 TUSTIN AVE, SUITE C
#227, NEWPORT BEACH, CA 92663

CONTRACTOR TO FIELD VERIFY
ALL MEASUREMENTS AND
CONFIRM DETAILS TO PROVIDE
ACCURATE BID

DATE 11.27.2024

REVISIONS

12.02.2024
12.04.2024
12.09.2024
12.18.2024
12.19.2024

DRAWN BY: HB

SHEET

L.1

SCALE: 1/8" = 1'-0"
CONCEPTUAL
HARDSCAPE PLAN

First-Floor:

1. Contractor to Follow Supplier's Installation and Sealant Guidelines:
 i. Base to Receive Waterproofing and Crack Prevention Membrane
 27. Authentic Provenance Decorative Concrete Spheres in Varying Sizes
 28. 10' Long Dining Table and (10x) Dining Chairs
 29. 6' Long Console Table (Furniture)
 30. Sandrine Scott Commodities Cascas Beige Blend Limestone with an Antique Finish, 16" Wide x Random Length Pads with 4" Wide Turf Turf Playground Spring Artificial Turf Seams Between:
 a. Groul Joints: 8" Wide
 b. Groul Color: Contractor to Confirm
 c. Contractor to Follow Supplier's Installation and Sealant Guidelines
 i. Contractor to Review Sealant Options with the Homeowner Prior to Install
 ii. Base to Receive Waterproofing and Crack Prevention Membrane
 d. Contractor to Confirm Turf Variety to Purchase and Follow Installation Guidelines
 31. (2x) Chaise Lounges and (1x) Side Table
 32. 14' Wide x 25'-6" Pool with an Integrated 8' x 8' Spa and Automatic Pool Cover:
 a. Pool/Spa Finish: NPT Stonescapes Mini Pebble/Rubicon Bay (Contractor to Show the Client Examples of Pools in Person and Confirm the Color Prior to Install)
 b. Pool/Spa Waterline Tile and Spa Dam Tile: 2" x 6" Mission Tile West Wabisabi Verde TO-263 in a Horizontal Running Bond Pattern (Contractor to Confirm Tile/Layout: 1. Groust Size: 8" Width
 c. Groul Color: Contractor to Confirm
 d. Contractor to Confirm Pool/Spa Depth, Placement/Size of the Entry Stairs, Bench Seating/Locations, Skimmer Location, Jet Location and Light Location/Options with the Client
 e. Skimmer to be a "HIDE Skimmer Cover" or Equivalent if Feasible
 f. Drowning Prevention Safety Features:
 i. Automatic Pool Cover (Color: TBD)
 ii. All doors/gates providing direct access to the pool/spa from the residence shall be equipped with a self-closing, self-latching device with a release mechanism placed at 54" or more above the floor.
 iii. The residence shall be equipped with exit alarms on all doors providing direct access to the pool/spa. Door alarms shall comply with the following:
 a. Door alarms shall be listed and labeled in accordance with UL 2017.
 b. Alarm shall produce an audible warning when the door and/or its screen are opened.
 c. The alarm shall sound continuously for a minimum of 30 seconds within 7 seconds after the door is opened, at a sound pressure level of not less than 85 dBA when measured inside the dwelling at 10 ft from the alarm.
 d. The alarm shall automatically reset under all conditions.
 e. The alarm shall be equipped with a manual means to temporarily deactivate the alarm for a single opening. The deactivation shall last not more than 15 seconds. The deactivation switch shall be located at least 54 inches above the threshold of the door.
 f. Alarms shall be permanently secured by screws or epoxy.
 g. Automatic Pool Cover Vault (the Portion that Extends beyond the Pool Coping) Shall be Buried Under the Artificial Turf
 33. 12' Wide x 25'-6" Sandrine Scott Commodities Cascas Beige Blend Limestone Coping with an Antique Finish and Chiseled Edge:
 a. Contractor to Confirm Coping/Pool Vault Stone Width
 b. Groul Joints: 8" Wide
 c. Groul Color: Contractor to Confirm
 d. Contractor to Follow Supplier's Installation and Sealant Guidelines
 i. Contractor to Review Sealant Options with the Homeowner Prior to Install
 e. Base to Receive Waterproofing and Crack Prevention Membrane
 34. Towel Hook Location
 35. Outdoor Shower, See L5 Outdoor Shower Elevation
 36. Decorative Stool
 37. (1x) 20" Round Pot:
 a. Plant: 15 gal. Citrus kinokuni ex Tanaka and (3x) 4" Pots Mentha suaveolens 'Variegata' Spaced Evenly around the Base
 b. Pots to have Drip Irrigation, Drainage and the Option for Low Voltage Lighting
 c. Contractor to Confirm Pot Locations Prior to Sub-Base Pour with the Client
 d. Finish with 3/8" Round Pea Gravel
 38. 8' Long Potting Table (Furniture)
 39. Pool Equipment Location Per Architect
 a. Pool Equipment to Conform to the City of Coronado's Decibel Ratings
 40. Built-In Gas BBQ, See Sheet L5, Built-In Gas BBQ Elevation
 41. 18" Square Pot:
 a. Plant: 24" Round Buxus 'Green Beauty' Globe
 b. Pots to have Drip Irrigation, Drainage and the Option for Low Voltage Lighting
 c. Contractor to Confirm Pot Locations Prior to Sub-Base Pour with the Client
 d. Finish with 3/8" Round Pea Gravel

Third-Floor:

1. Flooring to Match the First-Floor Covered Areas or Coordinating Porcelain (Contractor to Confirm)
2. 6" x Random Lengths Sandrine Scott Commodities Provence Beige Blend Cobblestone Pad in a Running Bond Pattern:
 - a. Grout Size: 3/8" Wide (Contractor to Confirm)
 - b. Grout Color: Contractor to Confirm
3. Contractor to Follow Supplier's Installation and Sealant Guidelines:
 - i. Base to Receive Waterproofing and Crack Prevention Membrane
3. 3' Wide x 5' Long x 18" Tall Gas Fire Pit, See L5 Third Floor Gas Fire Pit Elevation
4. (2x) 8' Long Sofas
5. Cantilevered Dektol Bar Per Architect
6. (4x) Stool Seats (Confirm Seat Height Prior to Purchase)
7. 5' Long Console (Furniture)


CHELSEA CORINNE
STUDIO

ADDRESS: 120 TUSTIN AVE, SUITE C
#227, NEWPORT BEACH, CA 92663

CONTRACTOR TO FIELD VERIFY
ALL MEASUREMENTS AND
CONFIRM DETAILS TO PROVIDE
ACCURATE BID

[illegible]

DRAWN BY: HB
SHEET

700 GLORIETTA BLVD,
CORONADO, CA 92118

CONCEPTUAL HARDSCAPE LEGEND

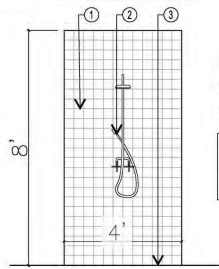
L.2

Tree Schedule	Size	Qty	Height x Width Growth		Shrub Schedule	Size	Qty	Height x Width Growth
Camellia sasanqua 'Apple Blossom' Apple Blossom Camellia	15 gal.	1	10' x 10'	(A)	Anemone 'Dreaming Swan' Japanese Anemone Dreaming Swan	1 gal.	6	1-2' x 2-3'
Citrus hystrix Kaffir Lime (Contractor to Provide Photos/Specs)	36" box	1	6-25' x 5-12'		Asplenium hybrid 'Austral Gem' Austral Gem Bird's Nest (In Pots)	15 gal.	5	20" x 24"
Citrus kinokuni ex Tanaka Kishu Mandarin (Contractor to Provide Photos/Specs)	15 gal.	1	3-5' x 3-5'	(F)	Farfugium japonicum 'Argentea' Variegated Leopard Plant	5 gal.	23	2' - 2-3'
Citrus limon 'Variegated Pink' Variegated Pink Eureka Lemon (Contractor to Provide Photos/Specs)	36" box	1	10-15' x 6-8'	(B)	Buxus microphylla var. japonica 'Green Beauty' Globe 24" diameter Green Beauty Boxwood Globe	32	6' x 6' (Maintained 2' x 2')	
Lagerstroemia indica x fauriei 'Natchez' Single-Trunk Natchez Crape Myrtle (Contractor to Provide Photos/Specs)	36-48" box	2	20' x 20'		Gaura lindheimeri 'Sparkle White' Wandflower (Designer to Locate)	1 gal.	8	24" x 18"
Magnolia grandiflora 'Little Gem' Espalier Espaliered Little Gem Dwarf Southern Magnolia (Contractor to Provide Photos/Specs)	15 gal.	1	20-25' x 10-15' (Maintained 12' x 12')	(HY)	Hydrangea quercifolia 'Gatsby Moon' Gatsby Moon Oakleaf Hydrangea	5 gal.	12	6-8' x 6-8'
Bauhinia blakeana 'Single-Trunk' Hong Kong Orchid	36" box	1	20-25'	(O)	Olea europaea 'Little Olile' Dwarf Fruitless Olive Shrub	5 gal.	16	6' x 6' (Maintained 3' x 3')
OR				(PE)	Perovskia atriplicifolia 'Sage Advice' Sage Advice Russian Sage	5 gal.	22	3' x 3'
Chitalpa tashkentensis 'Single-Trunk' Chitalpa (Photos of Actual Trees Shall be Submitted to the City Arborist Prior to Purchase and an Encroachment Agreement Must be Filled. Upon Approval, a Planting Detail Shall be Provided by the City Arborist for Planting Instructions)	36" box	1	20-35' x 20-35'	(PC)	Pittosporum crassifolium 'Compactum' Dwarf Karo Nana	5 gal.	5	3' x 3'
Malus domestica 'Espalier' Anna Apple Espalier (Contractor to Provide Photos/Specs)	15 gal.	3	20-25' x 20-25' (Maintained 5' x 6')	(R)	Rosa ausnoble 'Tranquility' David Austin Shrub Rose	5 gal.	12	4' x 4'
Liquidambar styraciflua 'Palo Alto' Palo Alto Sweet Gum (Contractor to Provide Photos/Specs) (Planted with a Minimum 30" Linear Root Barrier on All Sides)	36" box	2	40-60' x 20-25'	(RO)	Rosmarinus officinalis 'Tuscan Blue' Tuscan Blue Rosemary	5 gal.	2	6' x 4'
Olea europaea 'Swan Hill' Single-Trunk Swan Hill Olive Tree (Contractor to Provide Photos/Specs)	48-60" box	4	20-30' x 20-30'	(SA)	Salvia nemorosa 'Mystic Spires' Sage	1 gal.	12	2-3' x 2-3'
Persia americana 'Holiday' Holiday Avocado (Contractor to Provide Photos/Specs)	36" box	1	12-18' x 10'		Groundcover Schedule	Size	Qty	Height x Width Growth
Prunus domestica 'Italian Prune' Italian Prune European Plum (Contractor to Provide Photos/Specs)	36" box	1	12' x 12'		Armeria maritima 'Cotton Tail' Cotton Tail Thrift	1 gal.	28	4-6" x 4-6"
					Mentha suaveolens 'Variegata' Peppermint Mint (In a Pot)	4" Pots	3	2' x Spreading
					Stachys byzantina Lamb's Ear	1 gal.	29	6" - 2' x 1-3'
					Viola hederacea Australian Violet	Dirt Flats	43	8" x 6"
Hedge Schedule	Size	Qty	Height x Width Growth		Vine Schedule	Size	Qty	Height x Width Growth
Buxus sempervirens 'Suffruticosa' Dwarf English Boxwood (Spaced 12" on Center)	1 gal.	150	2-3' x 2-4' (Maintained 2' x 2')	(B)	Rosa banksiae 'Alba Plena' Staked Lady Banks Climbing Rose	15 gal.	2	10-12' x 3-20'
Euonymus japonicus 'Microphyllus' Green Boxleaf Euonymus	1 gal.	41	2' x 1'	(C)	Rosa x 'Cecile Brunner' White 'Climbing' White Cecile Brunner Climbing Rose (Steel Wire with Eye Hooks - Contractor to Confirm Wire Layout)	15 gal.	3	10-20' x 3-6'
Ficus nitida 'Column' Indian Laurel Fig (Planted with a Minimum 30" Tall Linear Root Barrier on all Sides) (Contractor to Confirm Qty Prior to Purchase)	15 gal. or 24" box	26	10-30' x 3-10' (Maintained 12' x 4')	(J)	Jasminum sambac 'Staked' Arabian Jasmine (Steel Wire with Eye Hooks - Contractor to Confirm Wiring Layout)	15 gal.	1	8' x 4'
				(T)	Trachelospermum jasminoides 'Madison' Staked Madison Star Jasmine (Steel Wire with Eye Hooks - Contractor to Confirm Wiring Layout)	15 gal.	27	20' x Climbing

CONCEPTUAL PLANTING LEGEND

[illegible]

L.4



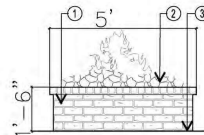
Legend

- Decorative Tile with Mitered Edges (TBD)
- Hand Wand Fixture
- Grade

Note:
1. Contractor to Provide Drainage to the Sewer
2. Outdoor Shower Under Deferred Submittal

Outdoor Shower Elevation

Scale: 1/2"=1'-0"



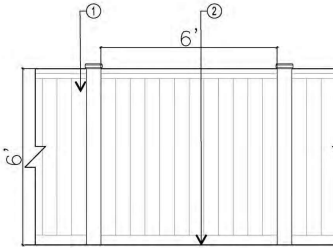
Legend

- Backyard Gas Fire Pit
- Face/Cap: Brick to Match the Home
- Interior Media: 1-2" Tumbled Lava Rock
- Grade

Note:
Contractor to Confirm Key Location & Possible Low Voltage Face Mounted Lights

Third Floor Gas Fire Pit Elevation

Scale: 1/2"=1'-0"



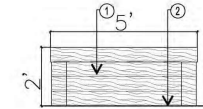
Legend

- 6" Tall Board Over Board Cedar Wood Fence with 6" Wide Vertical Wood Beams
- Grade

Note:
Homeowner to Obtain Neighbor Approval/Signoffs for the New Fence Straddling the Property Line

Wood Fence Elevation

Scale: 1/2"=1'-0"



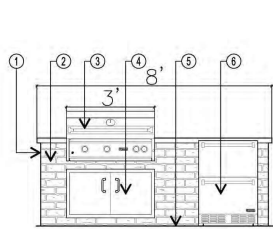
Legend

- 2" Tall Cedar Wood Vegetable Box
- Grade

Note:
Contractor to Drip Irrigation & Drainage

Vegetable Box Elevation

Scale: 1/2"=1'-0"



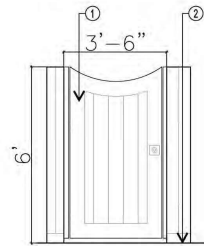
Legend

- Electrical Outlet (Contractor to Confirm Location)
- Built-In Gas BBQ
- Face: All Sides of the BBQ to be Brick to Match the Main Dwelling
- Cap: 2 CM Dekton Fossil with a Mitered Edge to Provide a 2" Thick Reveal (Contractor to Confirm Color)
- 36" Grill
- Coordinating Access Doors
- Grade
- Outdoor Refrigerator (24" Professional Two Drawer Refrigerator (LXND4WR))

Note:
Contractor to Confirm All Details Above, Including the Appliances

Built-In Gas BBQ Elevation

Scale: 1/2"=1'-0"



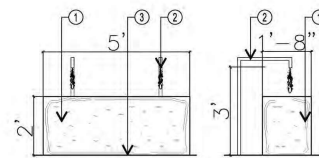
Legend

- Wood Trash Can Enclosure with a Steel Framed Sliding Gate (Sliding to the Right) with Wood Cladding to Match the Other Gates
- Grade

Note:
Contractor to Confirm All Details Above Including Overall Size and Gate Width

Trash Can Enclosure Elevation

Scale: 1/2"=1'-0"

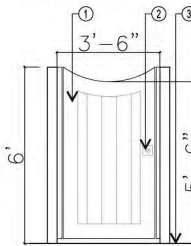


Legend

- 24" Wide x 60" Long x 18" Tall Salvaged Limestone Vessel
- 2x Custom Top Light, Inc. Spouts Per Inspiration Photo (Color: TBD)
- Grade

Limestone Fountain Elevation

Scale: 1/2"=1'-0"



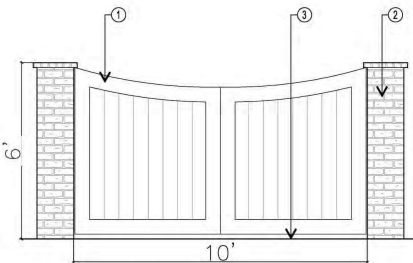
Legend

- 6" Tall Pool Safe Gate with a Steel Frame and Wood Cladding (Paint/Stain: TBD)
- Key/Lock Combo Hardware
- Grade

Note:
Contractor to Confirm All Details Above Including Overall Size and Gate Width

Side Gate Elevation

Scale: 1/2"=1'-0"



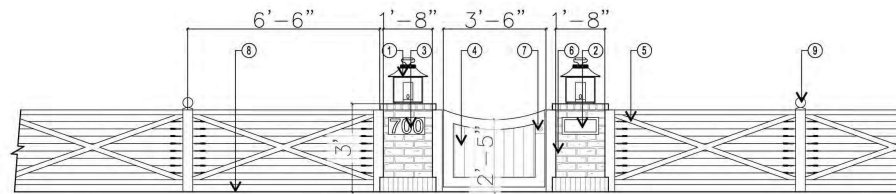
Legend

- Outswinging, Automatic Double Driveway Gate with a Steel Frame and Wood Cladding (Paint/Stain: TBD)
- Plasters Per Architect
- Grade

Note:
Contractor to Confirm All Details Above

Driveway Entry Elevation

Scale: 1/2"=1'-0"



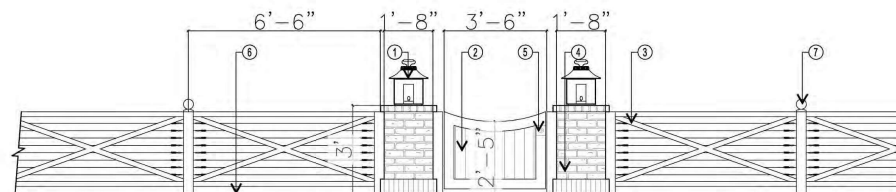
Main Front Entry Elevation

Scale: 1/2"=1'-0"

Legend

- Post Lights (TBD)
- Recessed Mailbox with a Lock and Retrieval Box on the Back (TBD)
- Decorative Address Plaque (TBD)
- Steel Gate with Wood Cladding (Stain/Paint: TBD)
- Decorative Wood Paint/Stain Grade Fence (Color:TBD) with Heavy Duty Silver Tension Wire Spaced 3" Apart
- Entry Plasters
- Face/Cap: Brick to Match the Home
- Key/Lock Combo Hardware
- Grade
- Decorative Post Finials (Paint/Stain to Match the Fence)

Note:
Contractor to Confirm All Details Above Prior to Construction



Legend

- Post Lights (TBD)
- Steel Gate with Wood Cladding (Stain/Paint: TBD)
- Decorative Wood Paint/Stain Grade Fence (Color:TBD) with Heavy Duty Silver Tension Wire Spaced 3" Apart
- Entry Plasters
- Face/Cap: Brick to Match the Home
- Key/Lock Combo Hardware
- Grade
- Decorative Post Finials (Paint/Stain to Match the Fence)

Note:
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Driveway Entry Elevation

Scale: 1/2"=1'-0"

JENSEN RESIDENCE
700 GLORIETTA BLVD,
CORONADO, CA 92118

CHelsea CORINNE
STUDIO

ADDRESS: 120 TUSTIN AVE, SUITE C
#227, NEWPORT BEACH, CA 92663

CONTRACTOR TO FIELD VERIFY
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REVISIONS

12.02.2024
12.04.2024
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12.18.2024
12.18.2024
12.19.2024

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CONCEPTUAL
ELEVATIONS

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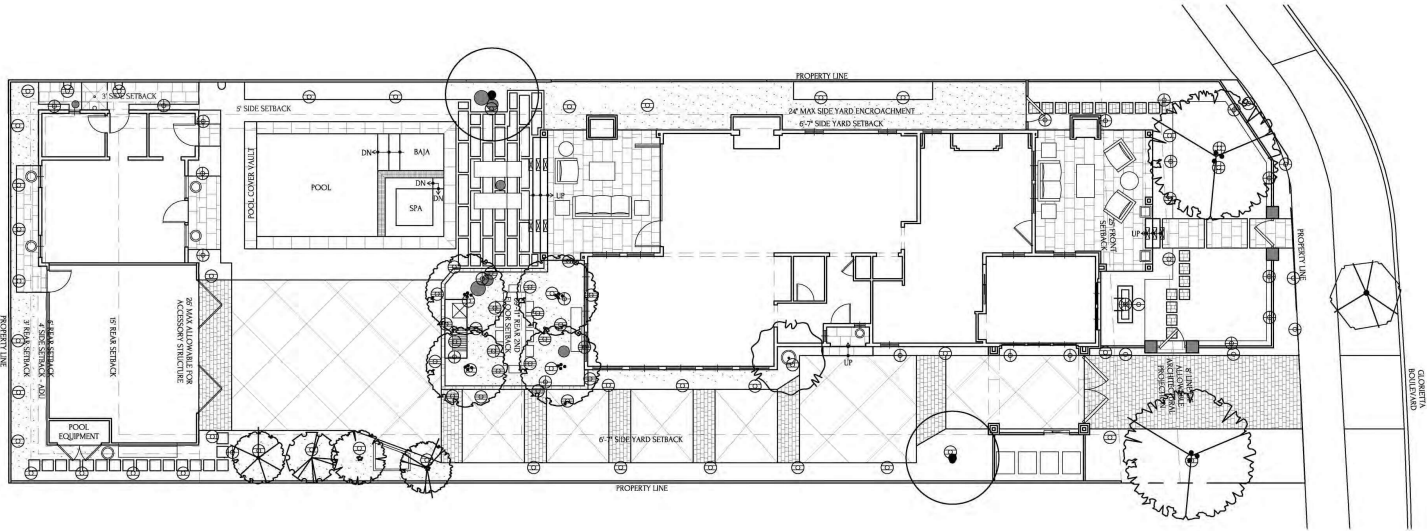
Lighting Notes:

1. The lighting plan is conceptual and must be verified in the field by the contractor.
2. Contractor to bury 36" of extra cable at each fixture for future adjustment.
3. No exterior lights shall be placed in any location that will cause obstructive glare to any neighboring lot.
4. Contractor is responsible for proper installation of the wiring, transformers and access to the cables; and shall determine the optimal locations for the wiring and transformer locations.
5. Lights to be Purchased from Top Lights, Inc. (Brett Browning: 949-422-4653) unless otherwise noted by the designer.

Lights to be Purchased from Top Lights, Inc.
Contact: Brett Browning: (949) 422-4563

LIGHTING LEGEND

Symbol	Description	QTY
⊞	Top Light, Inc. TOP-SL-573-5.25"-MBR (Step Light)	9
⊕	Aurora Light Serengeti 19" Pathlight - 9" TOP-BLP (Path Light)	22
⊕	Aurora Light Omega 7" Directional-3" Diameter-BLP (Regular Uplight)	48
⊕	Aurora Light Qube 4" Directional - Square Shield - BLP (Small Uplight)	7
⊕	Aurora Light Ariel 3" Underwater Light-CAM-LDC Stand-BLP (Water Light)	1
⊕	Aurora Light Maverin 6" Pendant-BLP (Hanging Tree Light)	23
⊕	Aurora Light Lighthouse 5" In-Grade-BLP (In Ground Light)	2



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SCALE: 1/8" = 1'-0"

CONCEPTUAL
LIGHTING PLAN

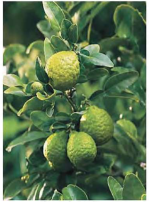
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plant palette



Camellia sasanqua 'Apple Blossom'
Apple Blossom Camellia



Citrus hystrix
Kaffir Lime



Citrus kinokuni ex Tanaka
Kishu Mandarin



Citrus limon 'Variegated Pink'
Variegated Pink Eureka Lemon



Liquidambar styraciflua 'Palo Alto'
Palo Alto Sweet Gum



Prunus domestica 'Italian Prune'
Italian Prune European Plum



Buxus sempervirens 'Suffruticosa'
Dwarf English Boxwood



Euonymus japonicus 'Microphyllus'
Green Boxleaf Euonymus



Farfugium japonicum 'Argentea'
Variegated Leopard Plant



Buxus microphylla var. japonica
'Green Beauty' Boxwood Globe



Gaura lindheimeri 'Sparkle White'
Wandflower



Hydrangea quercifolia 'Gatsby Moon'
Oakleaf Hydrangea



Lagerströmia indica x fauriei
'Natchez' Crape Myrtle



Magnolia grandiflora 'Little Gem'
Espaliered Little Gem



Bauhinia blakeana
Hong Kong Orchid



Malus domestica 'Espalier'
Anna Apple Espalier



Ficus nitida 'Column'
Indian Laurel Fig



Ligustrum japonicum 'Texanum'
Wax Leaf Privet



Anemone 'Dreaming Swan'
Japanese Anemone Dreaming Swan



Asplenium hybrid 'Austral Gem'
Austral Gem Bird's Nest



Perovskia atriplicifolia 'Sage Advice'
Russian Sage



Pittosporum crassifolium
'Compactum' Dwarf Kare Nana



Rosa 'Tranquility'
David Austin Shrub Rose



Rosmarinus officinalis 'Tuscan Blue'
Rosemary

plant palette



Salvia nemorosa 'Mystic Spire'
Sage



Westringia fruticosa 'Gray Box'
Coast Rosemary



Armeria maritima 'Cotton Tail'
Cotton Tail Thrift



Mentha suaveolens 'Variegata'
Pineapple Mint



Stephanotis floribunda
Madagascar Vine



Trachelospermum jasminoides
'Madison' Star Jasmine



Wisteria macrostachya 'Blue Moon'
Blue Moon Wisteria



Olea europaea 'Swan Hill' Single Trunk'
Swan Hill Olive



Stachys byzantina
Lamb's Ear



Viola hederacea
Australian Violet



Rosa banksiae 'Alba Plena'
Lady Banks Climbing Rose



Jasminum sambac
Arabian Jasmine



Persea americana 'Holiday'
Holiday Avocado



Olea europaea 'Little Ollie'
Dwarf Fruitless Olive Shrub



Chitalpa tashkentensis
Chitalpa

JENSEN RESIDENCE
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CORONADO, CA 92118

PLANTING
PALETTE



CHELSEA CORINNE
STUDIO

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TigerTurf™

Playground Spring

- Built with TigerCool™ Technology which reduces turf temperatures up to 15%.
- IPEMA Certified reducing G-Max shock, perfect for playgrounds.
- K29 Quadruple-Layered Action Backing for greater seam strength and permeability.

GENERAL FEATURES:

Traffic Level:	Moderate to Heavy Traffic
Applications:	Landscape
Blade Colors:	Field Green / Clover Green

PRODUCT SPECIFICATIONS

Yarn Characteristics	Turf Characteristics
Type: Monofilament PE with Thatch	Pile/Face Weight: Approx. 55 Ounces
Composition/Structure: Polyethylene	Pile Height: Approx. 1.375 Inches
Denier: 10,800/5,000	Machine Gauge: 3/8 inch
Colors: Field Green/ Clover Green	Thatch Color: Green & Tan
Blade Shape: 3D Curvy W & 3D Curvy N	Total Product Weight: Approx 84 Ounces Per Square Yard

Backing Characteristics	Manufactured Rolls	Particulate Infill
Primary Composition: K29 Quadruple-Layered Action Backing	Width: 15 Feet Length: 100 Feet	Type: Quality Infill
Weight: 7.3 Ounces Per Square Yard Tuft Bind: 10+ Pounds	Shipping Weight: 876 Pounds*	Weight: 1.5-2.5 Lbs Per Sq Ft*
Finish Coating: Polyurethane 20 Ounces Per Square Yard*	Roll Diameter: 24 Inches	Colors: Green, Black, or Natural



Main Advantages:

- Designed to truly replicate grass with enhanced recovery
- Heat and frost resistant/ UV stabilized
- No harmful environmental effects, Not water soluble
- Uniquely formulated backing for greater seam strength

Recommended Maintenance:

Rinse and groom as needed to limit matting

Drainage Rate: 400+ inches of rain per hour per square yard

* Approximate Weight
* For IPEMA Certification, infill must be 2 pounds of Envirofill per sq ft



Artificial grass is made from plastic and should not be subject/exposed to open flames or high heat producing items.

SyntheticGrassWarehouse.com
EXCLUSIVELY DISTRIBUTED BY SGW

Synthetic Grass Warehouse cares about environmental issues and only produces products certified as lead free and free of dioxin emissions. All of our products undergo rigorous stringent testing to ensure safety and non-toxicity. Our products contain no detectable traces of lead or other RCRA hazardous waste heavy metals.



Installation Accessories

ENVIROFILL

PRODUCT DESCRIPTION:

Envirofill is composed of naturally occurring sand found only in the Hickory Formation of central Texas. Its highly-rounded quartz core resists compression so it doesn't continue to compact over the life of your lawn, promoting better drainage.

Chemical Composition:	(99.6 Silicone Dioxide)(Iron Oxide and Acrylic)
Dust:	0.1%
Angle of Response:	30 Degrees
Flammability:	Non-Flammable
Size:	1.0 Millimeter
Melting Point:	2880 Degrees Celsius
Roundness:	.6
Hardness:	.6 - .8 Mohs Scale

Type of Test	Envirofill	Rubber
Microbiological Analysis/Absorption (Growth After Contamination)	.007% or Negligible	81.82%
Abrasiveness ASTM1015	17	31.9
Flammability Test Radiant Panel ATSM - 648 NFPA235 and FTM372	1.02 (Best Possible)	.22 (Will Not Pass)
Shoe Traction ATSM F1551 (Dry Football) (Wet Football)	.86 .80	.81 .72
Sunlight Test (Temp After 250W Heat Lamp 30 Min)	93.62 Degrees F	141.88 Degrees F
Heavy Metal Test (Method 6010 & 7470)	None	Heavy Metals: Zinc
API Turbidity Test for Dust	23.5	33.5



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TURF SPEC
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